



Agenda

City of Kenora Planning Advisory Committee
Hybrid Meeting, In-Person and via Zoom
Wednesday, January 15, 2025
6:00 PM (Central Time)

- 1) Call meeting to order
- 2) Declaration of Pecuniary Interest & General Nature Thereof
 - On Today's Agenda
 - From a meeting at which a member was not in attendance.
- 3) Additions to the Agenda
- 4) Approval of Minutes:
 - November 20, 2024
- 5) Correspondence
 - None
- 6) Adjournment requests
 - None
- 7) Consideration of Application for Minor Variance
 - D13-25-01
- 8) Consideration of Applications for Land Division
 - None
- 9) Recommendations to Council for Amendments (None)
- 10) Old Business
 - None
- 11) New Business
 - Election of Chair
 - Election of Vice-Chair
- 12) Adjournment

Topic: Planning Advisory Committee

Time: Jan 15, 2025, 06:00 PM Winnipeg

Join Zoom Meeting

<https://us06web.zoom.us/j/81641015080?pwd=pINNsG6naGYhVgGSWkF1SMKqhu9Hiv.1>

Meeting ID: 816 4101 5080

Passcode: 293360

Phone: +1 204 272 7920 Canada



City of Kenora
Planning Advisory Committee
60 Fourteenth Street N., 2nd Floor
Kenora, Ontario P9N 4M9
807-467-2292

Minutes
City of Kenora Virtual Planning Advisory Committee
Hybrid meeting
Wednesday, November 20, 2024
6:00pm (CST)
Video Recording:

Present:

Tara Rickaby
Robert Bulman
Renee Robert
Linda Mitchell
Keric Funk
Andrea Campbell
Christopher Price
Janis Pochailo
Tara Vader
Ryan Haines
Melissa Shaw
Nadine Gustavson

Chair
Vice Chair
Member
Member
Member
Member
Member
Director of Planning and Building
Associate Planner
Planner
Secretary-Treasurer
Minute Taker

Regrets: None

i. Call meeting to order

The meeting was called to Order by the Chair, Tara Rickaby, at 6:00 PM Central Time, and a Land Acknowledgement was provided recognizing the traditional territories of Treaty Three First Nations and Metis people. The Chair identified the meeting being recorded and that all participants agree to be recorded by choosing to attend. The Chair described the expected protocols and processes to be followed during the meeting.

ii. Additions to the Agenda - None

iii. Declaration of Interest by a member for this meeting or at a meeting at which a member was not present – Tara Rickaby, Robert Bulman and Linda Mitchell stated a Declaration of Interest in the approval of last months meeting minutes as they were not in attendance.

iv. Approval of the minutes from previous meetings:

i) P.A.C. Meeting Minutes for October 16th, 2024

Moved By: Andrea Campbell **Seconded By:** Renee Robert

In Favour: 4 **Opposed:** 0 **Abstained:** 0

v. Correspondence before the Committee: None

vi. Adjournment Requests – None

vii. Consideration of Applications for Minor Variance:

i) D13-24-09 – Duncan Farm – 43 Rabbit Lake Road

Mr. Keith Merkle and Ms. Susan Russell was present to represent the application.

Planner, Ryan Haines, presented the Planning Report.

Purpose of Application: The purpose of this minor variance application is to seek relief from the City of Kenora Zoning By-law 101-2015 to permit the construction of two apartment buildings and nine multiple attached dwellings.

The Effect of Approval: The proposed development at 43 Rabbit Lake Road supports provincial and municipal policies for sustainable growth, providing much-needed multi-family housing within Kenora's urban area. The variances requested are minor and necessary to meet modern housing needs, achieve efficient site design, and respond to local demand. The analysis also confirms that the requested variances meet the four tests and represent an appropriate balancing of development objectives with community standards.

This site plan demonstrates the developer's intent to integrate accessible amenities, provide adequate parking and access, and optimize site layout to meet variances needed for this high-density residential project.

The following condition is recommended to be included with the approval of the minor variance requests:

1. As per By-Law Number 162-2023, that a portion of the subject property, not to exceed five percent (5%) of the total area of the Land, or cash in lieu, shall be conveyed to the City for the purposes of facilitating and supporting public walking and cycling infrastructure across or adjacent to the subject lands.

It is recommended that the Planning Advisory Committee approve the requested minor variances, subject to the recommended conditions and Site Plan Control.

Public in favour of the application: 0

Public in opposition of the application: 0

Letters in Favour: 0

Letters in Opposition: 1

Questions or comments from the committee:

Robert Bulman – What is normal size of parking stalls?

Ryan Haines – 2.85 m

Linda Mitchell – Will there be a path along the road in front of the property?

Janis Pochailo – That will be looked at farther into the development during the Site Plan stage.

Tara Rickaby – Is this a minor variance because of the length of the stalls of the barrier free parking?

Janis Pochailo – OADE states interior parking does not only apply to indoor parking.

Tara Rickaby – Are there any Natural Historic features of concern?

Ryan Haines – No

Linda Mitchell – Will sewer and water have enough pressure to provide for this development?

Janis Pochailo – This also will be studied during the Site Plan process.

Decision: Passed

Moved By: Keric Funk **Seconded By:** Robert Bulman

In favour: 7 **Opposed:** 0 **Abstained:** 0

The Secretary-Treasurer indicated that the applicant received approval from the Committee and identified the appeal period and stipulations that must be followed prior to the application being able to receive a building permit.

ii) D13-24-10 – Lot 3 North Marston Drive – Brown

Mr. Cody Brown was present to represent the application.

Director of Planning, Janis Pochailo, presented the Planning Report.

Purpose of Application: The purpose of this minor variance application is to seek relief from the City of Kenora Zoning

By-law 101-2015 to permit a sleep cabin on the ground floor of a detached garage. The application is seeking relief from Section 3.28.2 (f) which requires that a sleep cabin be incorporated into the second floor of a detached garage. This application proposes to permit

a sleep cabin on the ground floor of a detached garage.

The proposed detached garage is 156.5 square metres in size. The sleep cabin would occupy approximately 44 square metres of the area with the remaining being used as garage space.

The subject property is seasonal residential with an existing cottage on the lands and has access via North Marston Drive. The site is serviced by private on-site water and sewage services. The subject lands are approximately 3 acres.

The Effect of Approval: The requested relief is to permit a sleep cabin on the ground floor of a detached garage. The proposed variance is not expected to have a significant impact on the surrounding area, nor will it impact the ability of adjacent neighbours to utilize their properties for permitted uses. The variance is considered minor in nature and impact.

Public in favour of the application: 0

Public in opposition of the application: 0

Letters in Favour: 2

Letters in Opposition: 0

Questions or comments from the committee:

Tara Rickaby – Will the holding tank present be ample to supply the needs?

Cody Brown – Yes, it is, however, am installing a second tank to be sure.

Decision: Passed

Moved By: Linda Mitchell **Seconded By:** Keric Funk

In favour: 7 **Opposed:** 0 **Abstained:** 0

viii. Consideration of Applications for Land Division:

i) D10-24-09 – Canadian Tire

Harry Froussios was present to represent the application.

Director of Planning, Janis Pochailo, presented the Planning Report.

Purpose of Application: This application requests consent for a lease in excess of 21 years between CT REIT Limited Partnership (Owner) and Canadian Tire Real Estate Limited (lessee) for the lands located at 1229 Highway 17 East to enable to continued operation of the retail store. The purpose of the consent application is to facilitate a lease agreement in excess of 21 years as required by the Planning Act. The proposed leased lands are approximately 2.29 hectares in size and contain the existing Canadian Tire retail store and

service centre. The proposed retained lands are approximately 0.17 hectares in size and host the existing Gas Bar.

The subject property, municipally known as 1229 Highway 17 East, are generally located at the corner of Highway 17 East and Mikana is located on Highway 17 East. It is used for commercial purposes containing the Canadian Tire retail store, service centre, and the Gas Bar. The subject property is serviced by municipal water and sewer.

The Effect of Approval:

- ✓ Is consistent with the Provincial Policy Statement (Section 3(5) Planning Act);
- ✓ Does not require a plan of subdivision for the proper and orderly development of the municipality (Section 53(1) Planning Act);
- ✓ Conforms with Section 51(24) of the Planning Act;
- ✓ Conforms to the City of Kenora Official Plan (Section 4.8);
- ✓ Complies with the City of Kenora Zoning By-law (or will comply subject to a standard condition of rezoning or minor variance); and
- ✓ Has no unresolved objections/concerns raised (to date) from agencies or the public.

Public in favour of the application: 0

Public in opposition of the application: 0

Letters in Favour: 0

Letters in Opposition: 0

Questions or comments from the committee:

Tara Rickaby – Any requirements for reciprocal easements?

Harry Froussios – No easement requested as part of this application.

Tara Rickaby – In accordance with the survey, can the language be changed to add the word “structure”?

Harry Froussios and Janis Pochailo – Yes, of course. Harry will have the architect note the change.

Decision:

That application D10-24-09, planning act consent for easement for 21 years or more between CT REIT Limited Partnership (Owner) and Canadian Tire Real Estate Limited (lessee) for the lands located at 1229 Highway 17 East be provisionally approved and subject to the following conditions:

Expiry Period

1. Conditions imposed must be met within two years of the date of notice of decision, as required by Section 53(41) of the Planning Act, RSO 1990, as amended. If conditions are not fulfilled as prescribed within two years, the application shall be deemed to be refused. Provided the conditions are fulfilled within two years, the application is valid for three years from the date of notice of decision.

Survey/Reference Plan

2. Provide to the satisfaction of the City:
 - a. A survey/reference plan showing the boundaries of the lease
 - b. A survey showing the location of any buildings and structures thereon.
3. The solicitor acting for the parties is to provide a registerable description of the severed parcel, a copy of an application for exemption from a reference plan, together with a copy of an Order endorsed by the Land Register (to exempt from the requirement that a reference plan be deposited) if it is determined that this cannot be approved by the Land Registrar then the alternative will be that a reference plan showing the lot lines of the severed lands will be provided.

Zoning

4. Where a violation of any City Zoning by-law is evident, the appropriate minor variance or rezoning be obtained to the satisfaction of the City.

City Requirements

5. A copy of the lease agreement be provided to the City of Kenora for review prior to consent being granted.
6. That the payment of any outstanding taxes, including penalties and interest (and any local improvement charges if applicable) shall be paid to the City of Kenora.
7. That prior to endorsement of the deeds, the Secretary-Treasurer shall receive a letter, from the owner or the owner's Agent/Solicitor, confirming that conditions 1 through 6 have been fulfilled. Clearance from the City of Kenora and external agencies as required are to be included.

Moved By: Andrea Campbell **Seconded By:** Keric Funk

In favour: 7

Opposed: 0

Abstained: 0

The Secretary-Treasurer indicated that the applicant received approval from the Committee and -identified the appeal period and stipulations that must be followed prior to the application being able to receive a building permit.

ix. Recommendations to Council for Zoning By-law Amendment: None

*Please refer to PAC Meeting Video for full details of all questions and responses.
[Kenora Planning Advisory Committee Meeting November 20, 2024 \(youtube.com\)](https://www.youtube.com/watch?v=Cv8b_4EhW0c)
https://youtu.be/Cv8b_4EhW0c

x. **Old Business:** None

xi. **New Business:** None

ix. **Adjournment:**

Motion for adjournment. **Moved By:** Member Andrea Campbell

Meeting Adjourned at 7:15 P.M.

Minutes of the Kenora Planning Advisory Committee meeting, November 20th, 2024, are approved as of January 15th, 2025.

Chair, Tara Rickaby

Secretary-Treasurer, Melissa Shaw



**THE CORPORATION OF THE CITY OF KENORA
PLANNING ADVISORY COMMITTEE
NOTICE OF COMPLETE APPLICATION AND PUBLIC HEARING
Section 45 of the Planning Act, RSO 1990**

TAKE NOTICE that the City of Kenora Planning Advisory Committee (PAC) will hold a regular meeting on January 15th, 2025, at 6 p.m.

As part of the meeting, PAC will consider a proposed Minor Variance under Section 45 of the Planning Act (RSO 1990), as described below and shown on the attached map.

FILE(s): D13-25-01
LOCATION: 1002 Third Avenue South

PURPOSE AND EFFECT

The purpose of this minor variance application is to seek relief from the City of Kenora Zoning By-law 101-2015 to permit a two-storey dwelling.

The application is seeking relief from Section 4.1.3 (d) which requires an interior side yard (minimum) of 2.5 metres for a 2-storey dwelling.

This application proposes to reduce the interior side yard by 1 metre to permit a 1.5 metre interior side yard.

The subject property is designated Established Area in the City of Kenora Official Plan and zoned 'R1' Residential – First Density Zone in the City's Zoning By-law.

PAC Meeting	When: Wednesday, January 15 th , 2025 at 6:00 p.m. (CST) Location: Training Room, Operations Centre 60 Fourteenth Street North, 2 nd Floor, Kenora, ON
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Members of the public interested in attending the meeting may attend in person, or via Zoom Meeting at: <https://www.kenora.ca/en/your-government/planning-advisory-committee.aspx>. For the link to join the meeting please access the agenda under the Agenda and Minutes section.

PUBLIC MEETING

Input on the proposed application is encouraged. You can provide input by speaking at the PAC meeting. You may also provide your comments in writing as follows:

Submit comments in writing: Persons wishing to provide comments may submit such comments in writing, by email, to planning@kenora.ca or by regular mail to the address below, and quote File Number: **D13-25-01**. Comments must be submitted by 4:30 p.m. on Wednesday, January 8th, 2025.

FAILURE TO ATTEND

If you do not attend the hearing, it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF DECISION

If you wish to be notified of the decision of the Planning Advisory Committee in respect of this application, you must submit a written request to the Planning Advisory Committee via email to planning@kenora.ca.

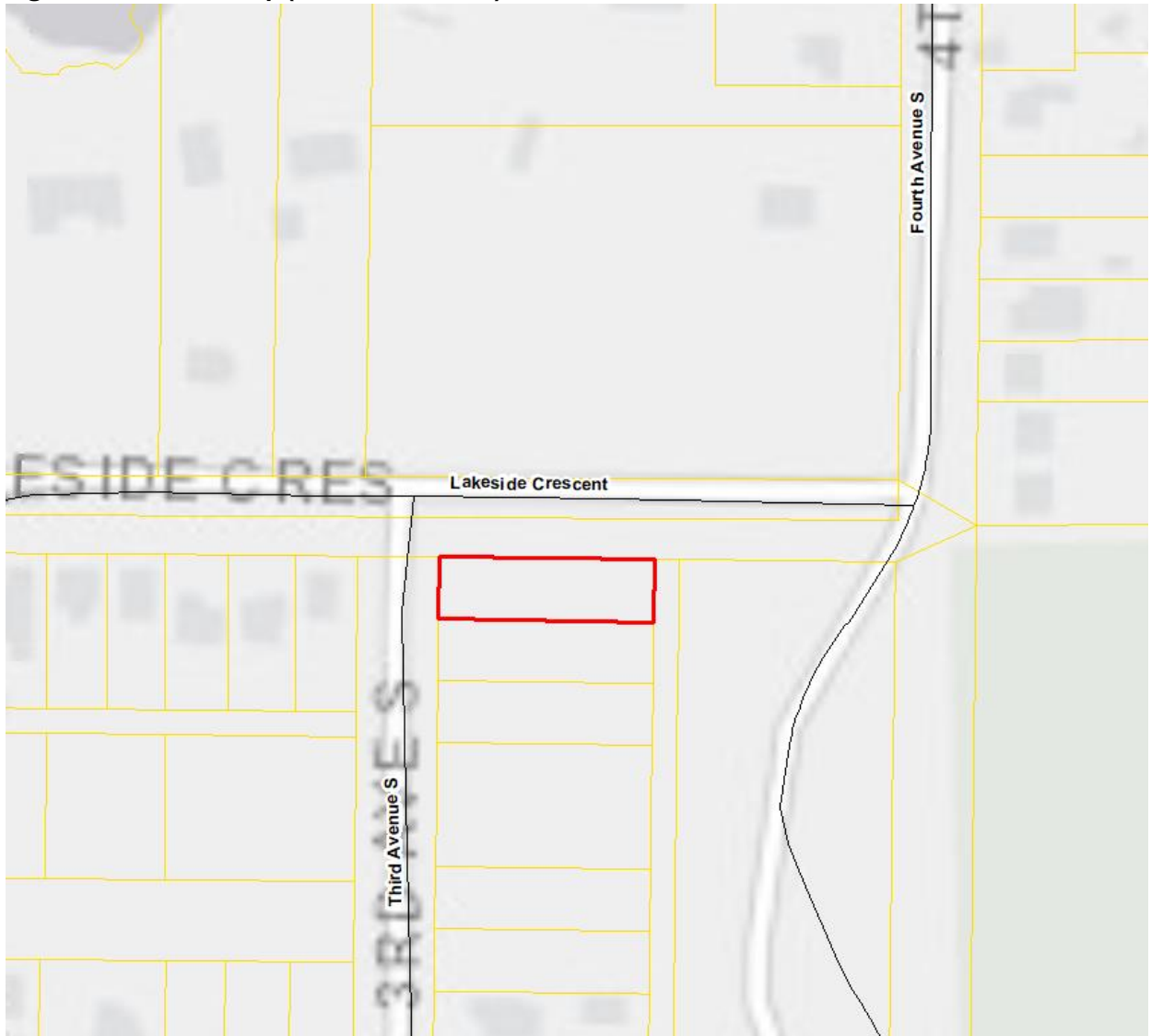
ADDITIONAL INFORMATION

Additional information relating to the proposed consent is available electronically through the Planning Department, for further information please email: tvader@kenora.ca and quote File Number **D13-25-01**.

Dated at the City of Kenora this 19th day of December, 2024.

Tara Vader, Associate Planner, 60 Fourteenth St N, 2nd Floor, Kenora, ON
P9N 4M9, Phone: 807-467-2152, email: tvader@kenora.ca.

Figure 1. Location Map (Kenora GIS 2022)





City of Kenora
Application for Minor Variance/Permission
 Section 45 of the Planning Act & Ontario
 Regulation 200/96, as amended

Applying for a Minor Variance or Permission

Minor variance decisions are made by the Kenora Planning Advisory Committee/Committee of Adjustment (PAC). The Committee has delegated authority by Council under the *Planning Act* to make land use planning decisions regarding minor variance applications, consents, plans of subdivision and condominium descriptions.

Planning Advisory Committee meetings are generally held on the third Wednesday of every month at the City of Kenora Operations Centre Training Room, 60 Fourteenth Street North, 2nd Floor.

All applicants and/or agents attend the PAC meeting to represent their application.

The deadline for application submissions is the day of the PAC meeting prior to the PAC meeting that you would like to have your application considered.

Types of Applications

Section 45(1) Minor Variance

A minor variance is a small variation from the requirements of the Zoning By-law. Where a proposal does not comply with the provisions of the Zoning by-law approval of an application for minor variance would enable a property owner to obtain a building permit. As per Section 45(1) of the *Planning Act*, there are four tests which a minor variance must meet:

Test	Criteria
Does the proposed variance meet the general intent and purpose of the City of Kenora's Official Plan?	This test takes into account the Official Plan polices that are directly associated with the proposed variance (Land use designations, special policy overlays, environmental issues, hazards etc.)
Does the proposed variance meet the general intent and purpose of the City of Kenora's Zoning By-law?	This takes into account the specific provisions of the zoning by-law that apply to the subject property, with regards to the types of uses permitted. For example, proposing to construct a commercial woodworking manufacturing shop in a residential zone would not meet the intent of the Zoning By-law even if the proposition complied with all setback, lot coverage etc. requirements.
Does the proposed variance represent an appropriate and reasonable use of the subject property?	This test takes into account the nature of the proposed variance with regards to the character of the surrounding neighbourhood.
Is the proposed variance minor in nature?	This test reviews the anticipated impact of the variance on the surrounding neighbourhood and property owners, the environment, traffic concerns etc. This is not measured in quantitative mathematical form, but in terms of the overall impact to the community. For example constructing a 500 square foot addition to a house for a private workshop compared to a 500 sq. foot addition for an auto wrecking facility are the same mathematically, however the latter has a much greater impact on the surrounding community.

Section 45(2) Permission

An application may be filed with the Planning Advisory Committee for permission, which entails either of the following:

- The enlargement or extension of a legal non-conforming/non-complying building or structure; or,
- The conversion of the use of land, building or structure from a legal non-conforming use to a similar legal non-conforming use or to a use that is more compatible with the uses permitted under the Zoning By-law.

The Application Process

1. A pre-consultation with the Planning Department Staff is recommended prior to formally submitting an application. Please ensure that you call ahead to arrange an appointment with a Planner at least one week prior to your preferred meeting date.

For further information, or to make an appointment, please contact:

City of Kenora Planning Department: planning@kenora.ca

1. The complete application will be placed on the agenda for the next Planning Advisory Committee meeting, which is open to the public.
2. A notice describing the proposal and providing the date, time and location of the meeting will be sent a minimum of ten (10) days prior to the hearing to neighbouring property owners and relevant agencies within 60 metres of the subject property.
3. Applicants will post a sign, provided by Planning Staff, on the subject property detailing the notice of complete application and public hearing. Staff/committee members will conduct a site visit.

For site visit purposes, please stake out on the subject property the extent of any proposed additions, using orange tape or paint.

4. The hearing of the application will take place at which time the Planning Advisory Committee will render its decision. Decisions may be tabled to a future meeting and complex applications may require more than one meeting prior to obtaining approval. Staff will make a recommendation to the Committee on all applications. New conditions of approval may be added at a meeting.
5. The decision of the Committee will be circulated no later than ten (10) days from the date the decision was rendered.
6. If no appeal to the Ontario Land Tribunal (OLT) is filed within twenty (20) days of the making of the decision, the decision is final and binding.
7. If a decision is appealed the file will be sent to the Ontario Land Tribunal (OLT), who will render a final decision.

Note: Building permits or licenses, if required, will only be issued after the appeal period has ended and the conditions of approval (if any) have been fulfilled.

Planning Rationale

A Planning Rationale is a document that provides an overall description, justification and rationale for understanding the proposed development application, and is intended to help the applicant organize and provide written support for the application. The document will assist staff and the approval authority, in the assessment and recommendation for the application. A planning rationale is recommended to accompany each application.

What is the purpose of a planning rationale?

A planning rationale is recommended as part of an application in order to:

- A) Provide a clear description and understanding of the proposal
- B) Provide an opportunity, at the outset, to establish why the proposal should be considered
- C) To highlight important information specific or particular to the application (ie. special history, different circumstances, unique site conditions, etc.)
- D) To enable staff to analyze and prepare recommendations on the application

It is not intended to be a personal analysis or business case for a proposed development, rather it should examine the impact of the proposal on the surrounding area, and vice versa.

Who can prepare a planning rationale?

Depending on the complexity of the application, the information requirements can be addressed in a letter, or a longer report. The material can be prepared by the owner, an agent, the applicant or by a member of a consulting team, depending on the nature of the application.

For a complex application it is recommended that a planning professional be retained to prepare the planning rationale. The benefits to the applicant, of hiring a planning professional, can be significant in presenting the proposal in its best form, which may result in cost and time savings, as well as making the approval process as efficient as possible.

What, specifically does a planning rationale contain?

A Planning Rationale shall contain and/or address, at a minimum, the points listed below. The failure to address the following points may result in the application being considered incomplete.

- A) Provide a physical description of the site, including descriptions of current land use(s) and surrounding land uses, context and/or built form
- B) Include a description of the site's planning history, including previous planning approvals and/or agreements (ie. site plan agreement, site-specific zoning by-laws etc.) and provide copies of the pertinent documents
- C) Include a description and overview of the proposal, including any major features or attributes (such as use, height, density, parking, architectural design, natural heritage features, etc.)
- D) Describe the suitability of the site, and indicate reasons why the development is appropriate for the site and will function well to meet the needs of the intended future users
- E) Provide a detailed analysis of the compatibility of the proposed development or land use designation with the existing adjacent developments and land use designations
- F) Provide justification that the proposal is appropriate land use planning, including any details of measures that are to be used to mitigate negative impacts (such as site plan control)
- G) Describe the impact of the proposed development on the natural environment
- H) Describe the impact of the proposed development on municipal services (ie. sewage collection and treatment systems, water distribution and treatment systems, utilities, roads, hydro services, parking, community facilities, parks and open spaces etc.)
- I) Describe how your application meets the four tests for approving a minor variance

- J) Indicate whether there are other planning approvals require, and if those necessary applications have been filed (ie. Official Plan or Zoning By-law amendment, Site plan Control agreement, site plan approval, minor variance, draft plan of subdivision or condominium etc.)
- K) Indicate how the proposed development is consistent with the Provincial Planning Statement (PPS) - (2024) and provide any other Planning Act considerations that are relevant. If you are not familiar with these documents, please contact the City of Kenora Planning Department or access the City's portal, www.kenora.ca or the Ministry of Municipal Affairs and Housing website at www.mah.gov.on.ca
- L) Describe the way in which relevant Official Plan policies will be addressed, including both general policies and site-specific land use designations and policies
- M) Indicate whether the proposal complies with any other relevant City documents and Planning Policies/Secondary Plans etc. (Black Sturgeon Lake Capacity and Management Report, Waterfront Development Guidelines, etc.)

Minimum Standards for Site Plan Sketches

A sketch or site plan, preferably prepared to scale by a professional shall be submitted as part of each application. All necessary information must be contained on one single sketch or site plan. The sketch or site plan must clearly demonstrate:

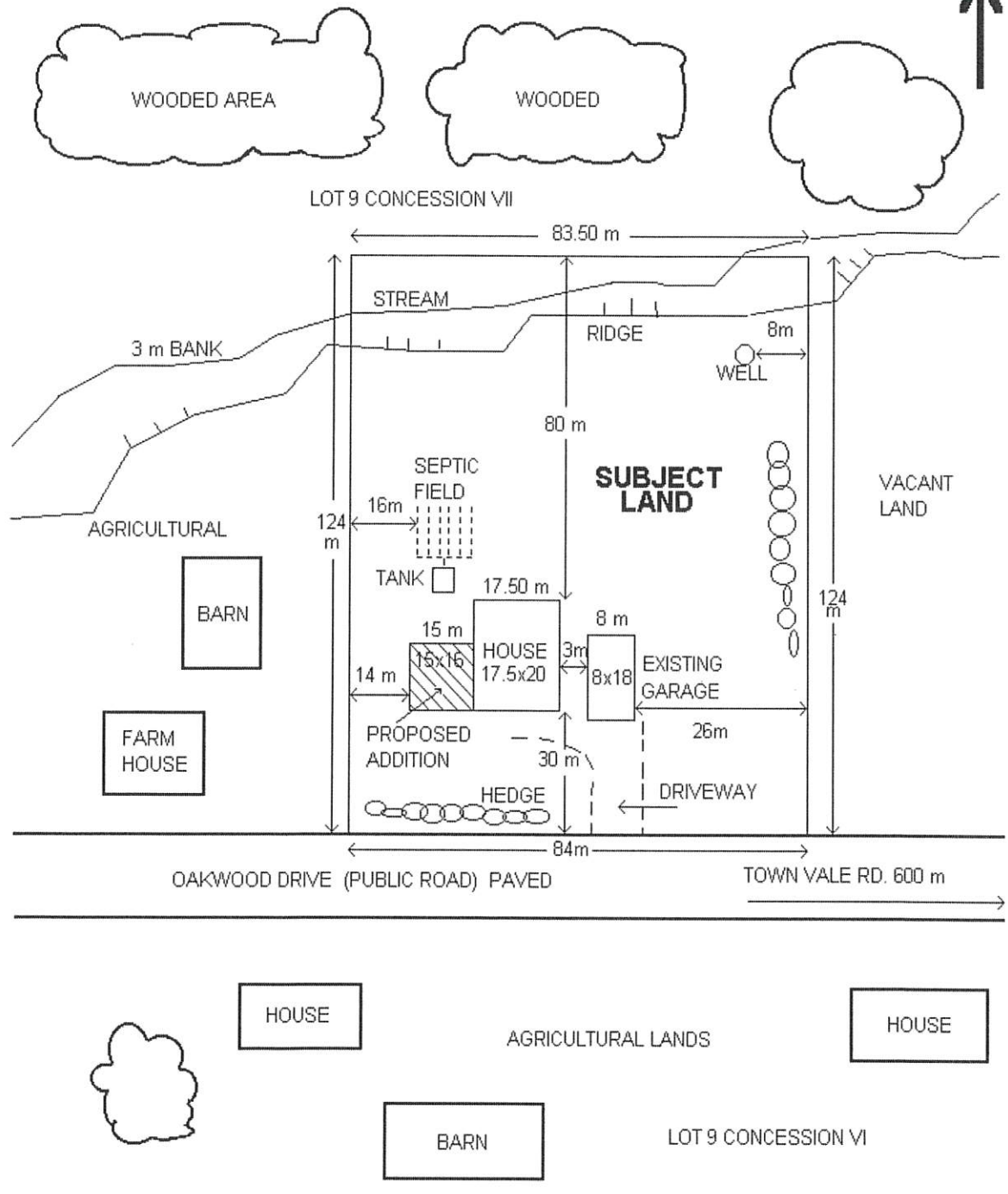
- i. The boundaries and dimensions of the subject land
- ii. The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
- iii. The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells, and septic tanks.
- iv. The current uses on land that is adjacent to the subject land
- v. The location, width and name of any roads within or abutting the subject lands, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right-of-way.
- vi. If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- vii. The location and nature of any easement affecting the subject land.

Applications and plans will be accepted in Metric only (1 foot = 0.3048 metres, 1 acre = 0.4046 hectares). The maximum size for the accompanying sketch/site plan shall be 11"x 17". If there is information provided on larger sizes, at least one copy shall be provided on the 11"x 17" format. Elevation drawings shall also be provided if applicable.

A copy of the most recent available survey of the subject property completed by a registered Ontario Land Surveyor (OLS) should also accompany the application.

Sample Sketch

AREA OF SUBJECT LANDS - 0.79 hectares



This Application must be submitted to:

City of Kenora Planning Department – planning@kenora.ca

60 Fourteenth Street North, 2nd Floor.
Operations Centre - Kenora, ON P9N 4M9
Fax: 807-467-2246

Prescribed Information

Personal Information collected within this document will be used to assist City staff to process this application and will be made public. The information prescribed in this application is contained in Ontario Regulation 200/96 (as amended), of the Planning Act, R.S.O. 1990 (as revised).

The undersigned hereby applies to the Planning Advisory Committee for the City of Kenora under Section 45 of the Planning Act, R.S.O. 1990 (as revised), for a minor variance, as described in this application.

This application also sets out other information that will assist the Committee of Adjustment/Planning Advisory Committee in their evaluation of the application and Staff review. In the absence of this information, it may not be possible to do a complete review within the legislated timeframe for making a decision. As a result, the application may be refused.

It is the sole responsibility of the authorized agent and/or owner to ensure that this application form is complete and that the information provided is accurate and correct. This application form will not be accepted until all required questions have been answered and all other requirements have been satisfied.



City of Kenora
Application for Minor Variance or
Permission
 Section 45 of the Planning Act & Ontario
 Regulation 200/96

Office Use Only

Date Stamp - Date Received: <div style="border: 2px solid blue; padding: 5px; display: inline-block; text-align: center;"> RECEIVED DEC 12 2024 <i>TLV</i> </div>	File Number: <u>D13-25-01</u> Roll Number: _____ Application Fee Paid: \$ <u>800.00</u> Application Deemed Complete (Date): <u>Dec 18, 2024</u>
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1.0 - Submission Requirements

Note: If the information below is not received the application cannot be deemed complete.

- Pre-consultation meeting is recommended with the planning department
- 1 original copy of the completed application form
- The required application fee of \$800.00 as per the schedule of fees By-law
- Planning Rationale (recommended)
- Site Plan Sketch
- Required studies identified at pre-consultation or any other time (See section 8.10 of the Official Plan for full list of studies)
- A completed Authorization, signed by all the registered owners when an Agent is acting on behalf of the Owner(s)

2.0 - City of Kenora Application for:

Minor Variance s.45 (1)
 Permission s.45 (2)

3.0 - Concurrent Applications Filed

<input type="checkbox"/> Official Plan Amendment	<input type="checkbox"/> Site Plan Application
<input type="checkbox"/> Zoning By-law Amendment/Temporary Use	<input type="checkbox"/> Consent Application
<input type="checkbox"/> Subdivision Application	<input type="checkbox"/> Other: _____

4.0 - Applicant Information				
SUBJECT PROPERTY INFORMATION				
Civic Address	Street No.:	Street Name:	Postal Code:	Unit Num.:
	1002	3rd Ave S		
Registered Plan Number	M- 56 Lot 145 and RP 23R 12206 Part 1			
Legal Description				
Reference Plan Number	23R-			
Lot No.(s)/Block No.(s)				
Concession Number(s)/PT LOT				
Part Numbers(s)				
Tax Roll Number	6016 040 003 03115			
OWNER/APPLICANT INFORMATION				
Check Appropriate Box:	<input type="checkbox"/> Person(s)		<input checked="" type="checkbox"/> Company	
Registered Land Owner	Surname:	First Name:		
	White	Tyler		
Mailing Address	Street No.:	Street Name:	Postal Code:	Unit Num.:
		Site 15 RR1	Pox 100 ON	
City			Province:	
			ON	
Contact Information	Phone:	Fax:		
	807-469-1022			
Email	KenoraWhites@yahoo.ca			
Acquisition Date of Subject Land				
PLANNING AGENT/SOLICITOR INFORMATION				
Company or Firm Name				
Name	Surname:	First Name:		
Mailing Address	Street No.:	Street Name:	Postal Code:	Unit Num.:
City			Province:	
Contact Information	Phone:	Fax:		
Email				
MORTGAGES, ENCUMBRANCES, HOLDERS OF CHARGES ETC. OF SUBJECT LAND				
Company	1000089155 ONT INC			
Contact Person	Surname:	First Name:		
Mailing Address	Street No.:	Street Name:	Postal Code:	Unit Num.:
Contact Information	Phone:	Fax:		
Email				
5.0 - Please list the reports/studies that will accompany this application				
6.0 - Land Use Designation (Please see www.kenora.ca/planning for schedules/maps)				
What is the current Official Plan Designation of the subject property?				
<u>established area</u>				
What is the current Zoning By-law designation of the subject land and the uses permitted by that zone?				
<u>R1</u>				

7.0 – Nature and extent of relief required			
Section of Zoning By-law No.	Zoning Provision	Proposed Provision	Relief Required
4.1.30	2.5 m	1.5 m	1 m

8.0 – Please explain the extent of the proposed variance or permission requested and why it is not possible to comply with the provisions of the Zoning By-law

The water table is too high to go below grade

9.0 – Property Characteristics

Frontage (metres): 15.24 Depth (metres): 52.73 Area (m² or Ha.): ~~175~~ 803.61

Existing Use of subject land: Vacant
Note: Legal non-conforming use applications must provide evidence to support its status to the Planning Department.

Proposed Use (if applicable): residential dwelling

The date the subject land was acquired by the current owner: Nov 2022

The date the existing buildings or structures on the subject land were constructed: N/A

Length of time that the existing uses have continued? N/A

- Type of Access:**
- Municipal maintained road
 - Seasonally maintained road
 - Provincial highway
 - Private road or laneway
 - Water
 - Other public road

* If access is by water only please describe the parking and docking facilities to be used and the approximate distance of these facilities from the land and the nearest public road:

*If access is by private road, or other public road, please state who owns the land or road, and who is responsible for its maintenance and whether it is maintained seasonally or all year. Please attach a copy of the registered easement/agreement if available.

Water Supply: Municipal water Private well Communal well Lake Other: _____**Sewage:** Municipal sewer Private septic system/field Communal septic system/field Privy Other: _____**Site Drainage:** Storm sewers Swales Ditches Other: _____**Other Services:** Electricity Garbage Collection School Buses**10.0 - Easements**

Are there any easements or restrictive covenants affecting the subject lands?

 Yes No

If Yes, please describe each easement and/or covenant and its effect, below:

Reference Plan Number	Instrument Number	Purpose of Easement and/or Covenant (e.g. hydro, utility, sewer, etc.)

11.0 - Other Applications under the Planning Act

Has the subject land ever been the subject of an application for approval of any of the following?

	File No.:	Status:
Draft Plan of Subdivision		
Condominium Description		
Official Plan Amendment		
Zoning By-law Amendment		
Minister's Zoning Amendment		
Site Plan Application		
Consent		
Minor Variance		
Part Lot Control		
Other (Please Specify)		

12.0 – Buildings/Structures on Subject Property

Dimensions must match those indicated on the required sketch

Existing Structures:

	Principle	Accessory	Accessory	Parking
Ground Floor Area				
Total Gross Floor Area				
Number of Storeys				
Length				
Width				
Height				
Front Yard Setback				
Rear Yard Setback				
Side Yard Setback				
Side Yard Setback				
Date Constructed				
Lot Coverage (%)				
Floor Area Ratio				

Proposed Structures:

	Principle	Accessory	Accessory	Parking
Ground Floor Area	1445			
Total Gross Floor Area	2890			
Number of Storeys	2			
Length	30.73 48'			
Width	30'			
Height	25 24'			
Front Yard Setback	8m			
Rear Yard Setback	8m			
Side Yard Setback	4 m			
Side Yard Setback	1.5 m			
Date Constructed				
Lot Coverage (%)				
Floor Area Ratio				

*Please place an asterisk next to any existing buildings that will be removed as part of the application.

*Please indicate whether the side yards are interior or exterior.

13.0 – Is the effect of the proposed variance consistent with policy statements issued under Subsection 3(1) of the Planning Act?

Please state how this application is consistent with the 2024 Provincial P Statement (PPS).

Yes, it is consistent

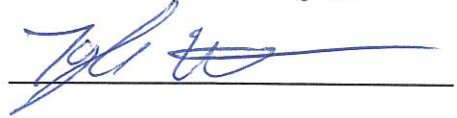
14.0 – Additional information

Please provide any additional information that you feel would be beneficial to the application:

16.0 – Authorized Agent/Solicitor

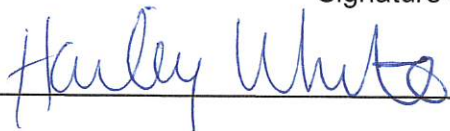
If the applicant is not the owner of the land that is the subject of this application, the written authorization of the owner(s) that the applicant is authorized to make the application must be included with this form or the authorization set out below must be completed.

I/We Tyler White, am/are the owner(s) of the land that is subject of this application for a minor variance and I/We hereby authorize _____ to make this application on my/our behalf and to provide any of my personal information that will be included in this application or collected during the processing of the application.



Signature of owner(s)

Dec 12, 2024
Date


Name and Signature of Witness

17.0 - Sworn Declaration or Affidavit


I, Tyler White of the City of Kenora in the province of Ontario, make oath and say (or solemnly declare) that the information required under Ontario Regulation 200/96 (as amended), and provided in this application is accurate, and that the information contained in the documents that accompany this application is accurate.

Sworn (or declared) before me at the Operations Centre in the City of Kenora this 12 day of December in the year 2024



Commissioner of Oaths

Tara Nowell Vader, a Commissioner, etc.,
Province of Ontario,
for the Corporation of the City of Kenora.
Expires September 5, 2027.


Harley White

Applicant(s)

18.0 - Privacy Consent/Freedom of Information Declaration


Consent of Owner(s) to the use and disclosure of personal information and to allow site visits to be conducted by City Staff, members of the Planning Advisory Committee or Council members.

I/We, Tyler White being the registered owner(s) of the lands subject of this application, and for the purpose of the Freedom of Information and Protection of Privacy Act, hereby authorize and consent to the use by or the disclosure to any person or public body of any personal information that is collected under the authority of the Planning Act (R.S.O. 1990 as amended) for the purposes of processing this application.

I/We also authorize and consent to representatives from the City of Kenora and the persons and public bodies conferred with under the Planning Act (R.S.O. as amended) entering upon the subject lands of this application for the purpose of conducting any site inspections as may be necessary to assist in the evaluation of the application.

Dec 12, 2024

Date


Harley White

Owner(s) Signature

Personal information contained on this form is collected pursuant to the *Municipal Act*, and will be used for the purpose of processing and approval of this application and associated applications. Questions about this collection should be directed to:

The Freedom of Information and Privacy Coordinator, City of Kenora
1 Main Street South, Kenora, ON P9N 3X7 - (807) 467-2295.

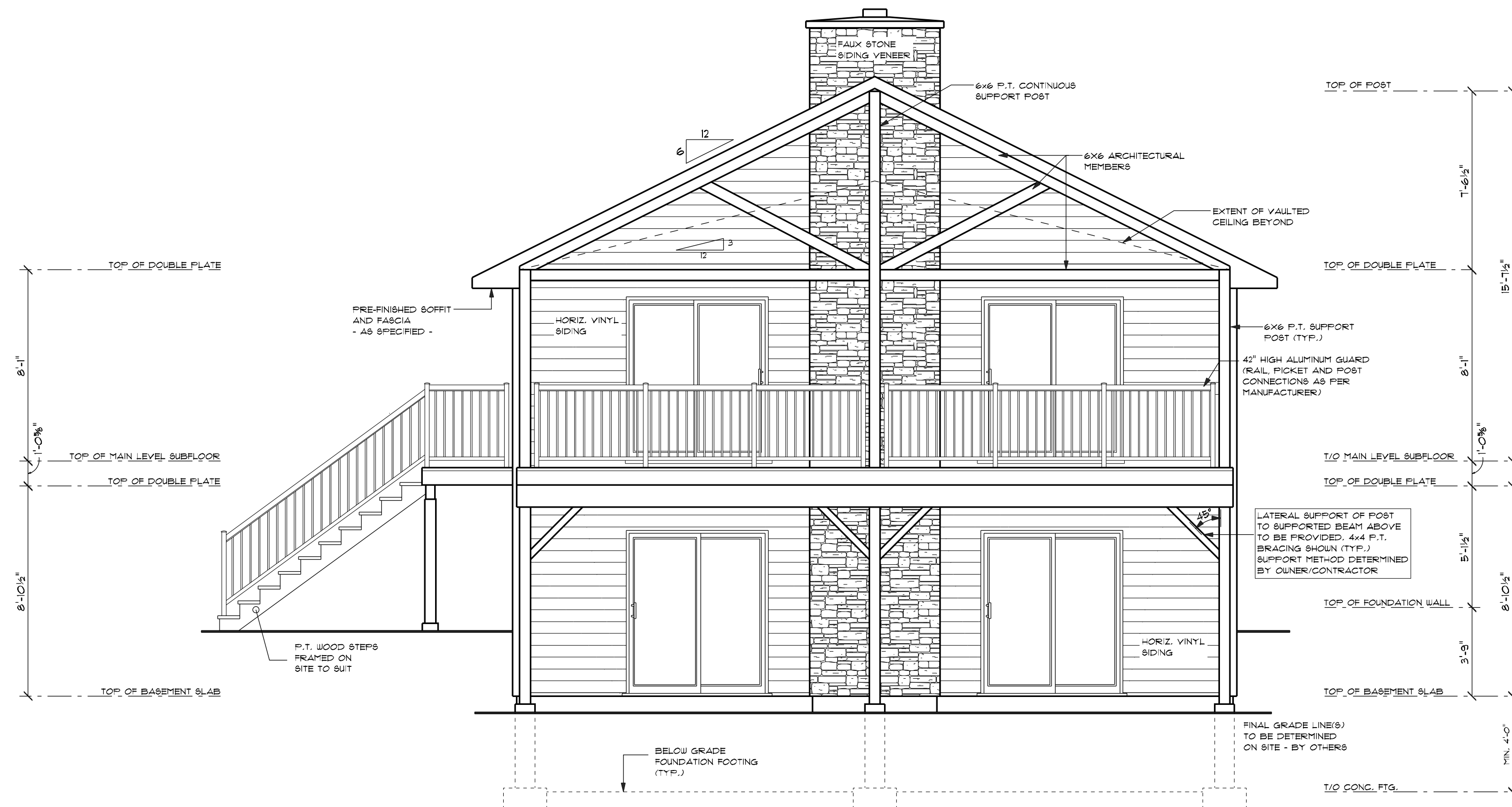
WHITE RESIDENCE

1440 SQ.FT.

SOME TREATMENTS SHOWN ON PLANS MAY NOT BE INCLUDED IN THE PREMIUM SPECIFICATION. FINISH SPECIFICATIONS TO BE APPROVED BY OWNER

FLASHINGS AND VENTILATION:

- WINDOW AND ROOF FLASHINGS:**
- PROVIDE DRIP CAP FLASHING ABOVE ALL EXTERIOR OPENINGS.
 - PROVIDE SELF ADHERING MEMBRANE AT EAVES AND VALLEYS.
 - ROOF FLASHING INSTALLED AT ALL VALLEYS, WALL INTERSECTIONS, AND JUNCTIONS WHERE WATER COULD PENETRATE THE ROOF DECK.
- VENTILATION:**
- VENTING TO BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING FOR CROSS VENTILATION WITH NOT LESS THAN 25% OF THE REQ'D OPENINGS LOCATED AT THE TOP OF ROOF SPACE AND NOT LESS THAN 25% OF THE REQ'D OPENINGS LOCATED AT THE BOTTOM OF ROOF SPACE.



FRONT ELEVATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, subsection 3.2.5 of the O.B.C.

NAME: Mike Metzloff 39417 BCIN
SIGNATURE: *[Signature]*

REGISTRATION INFORMATION
Required unless design is exempt under Division C, subsection 3.2.4 of the O.B.C.

Home Hardware Stores Limited 30045 BCIN
FIRM NAME:

Tuesday, October 31, 2023 12:53 PM

REVISIONS:	DATE:	DETAIL REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	MODEL: BAYWOOD #3 - Major Mod.	DRAWING: FRONT ELEVATION	PROJECT NUMBER: R23-193-1703-1
				CUSTOMER: WHITE 4TH AVE. S. KENORA, ON	SCALE: 1/4"=1'-0"	DRAWN BY: M.M.
				STORE: KENORA H.H.B.C.	DATE: OCTOBER 2023	CHECKED BY: N.C.



SHEET NUMBER:
1 | 11

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

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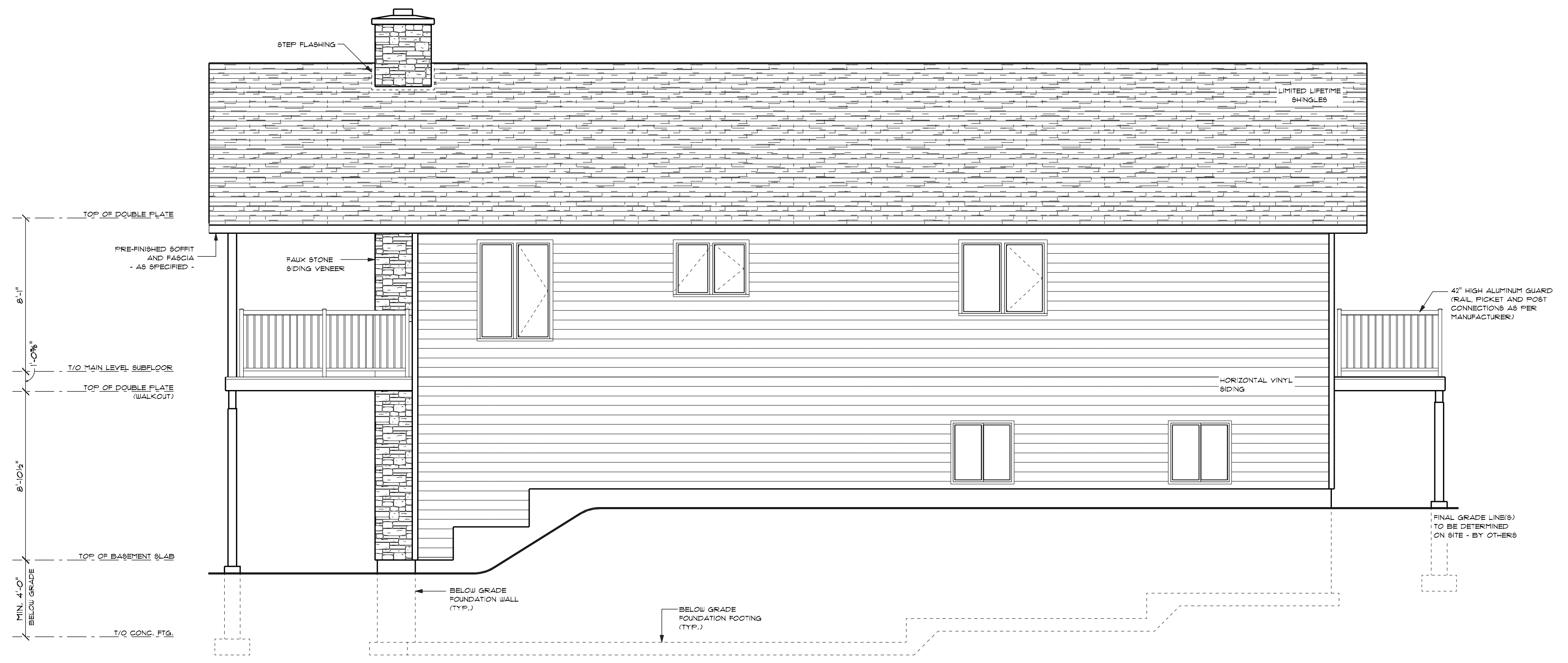
Mike Metzloff
NAME SIGNATURE BCIN 39417

REGISTRATION INFORMATION
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Home Hardware Stores Limited
FIRM NAME BCIN 30045

STEP FOOTINGS / FOUNDATION
STEP FOOTINGS, AND FOUNDATION AS REQUIRED TO SUIT GRADE CONDITIONS, AS DETERMINED ON SITE BY OTHERS.

FLASHINGS AND VENTILATION:
WINDOW AND ROOF FLASHINGS:
• PROVIDE DRIP CAP FLASHING ABOVE ALL EXTERIOR OPENINGS.
• PROVIDE SELF ADHERING MEMBRANE AT EAVES AND VALLEYS.
• ROOF FLASHING INSTALLED AT ALL VALLEYS, WALL INTERSECTIONS, AND JUNCTIONS WHERE WATER COULD PENETRATE THE ROOF DECK.
VENTILATION:
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RIGHT ELEVATION

Tuesday, October 31, 2023 12:54 PM

REVISIONS:	DATE:	DETAIL REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	MODEL: BAYWOOD #3 - Major Mod.	DRAWING: RIGHT ELEVATION		PROJECT NUMBER: R23-193-1703-1	
				CUSTOMER: WHITE 4TH AVE. S. KENORA, ON	SCALE: 1/4"=1'-0"		DRAWN BY: M.M.	SHEET NUMBER: 2 11
				STORE: KENORA H.H.B.C.	DATE: OCTOBER 2023		CHECKED BY: N.C.	

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Mike Metzloff 39417
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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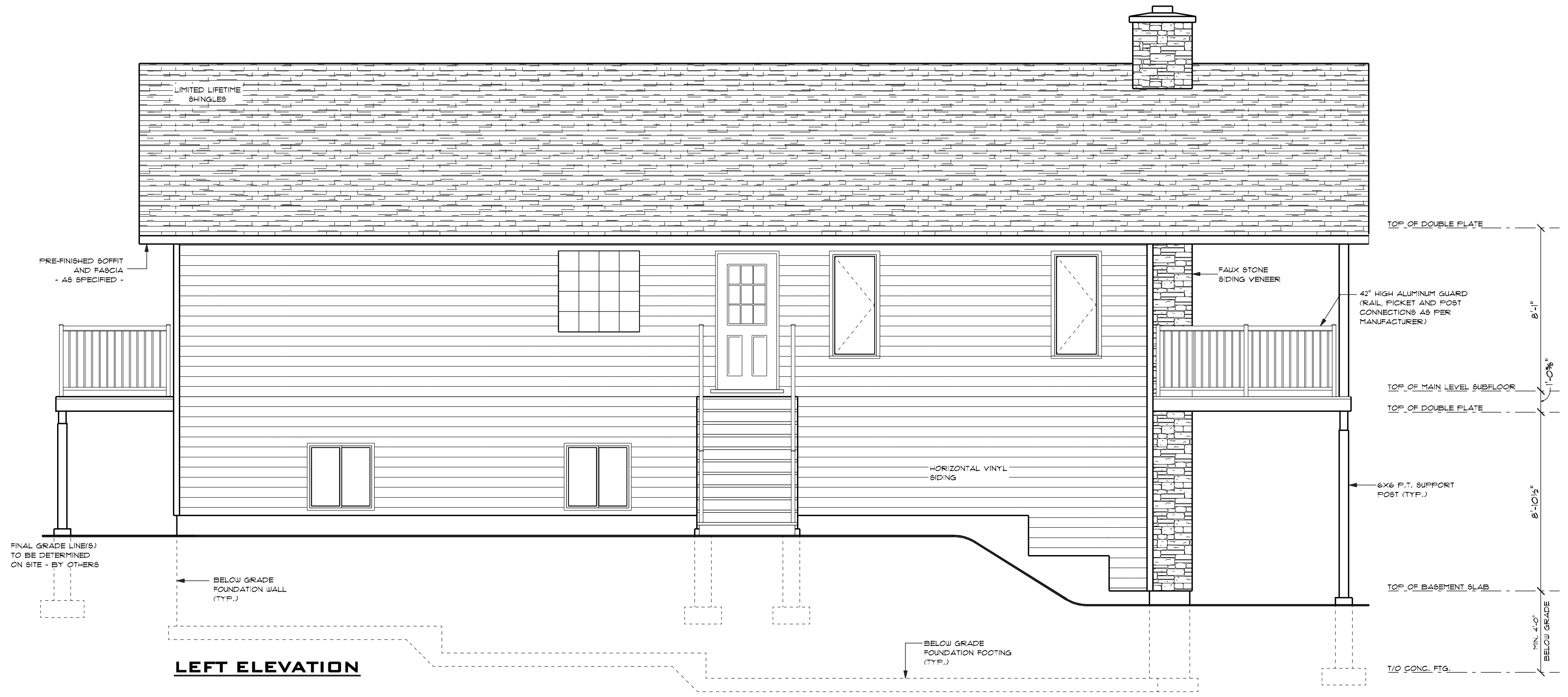
Home Hardware Stores Limited 30045
FIRM NAME BCIN

STEP FOOTINGS / FOUNDATION

STEP FOOTINGS, AND FOUNDATION AS REQUIRED TO SUIT GRADE CONDITIONS, AS DETERMINED ON SITE BY OTHERS.

FLASHINGS AND VENTILATION:

- WINDOW AND ROOF FLASHINGS:**
- PROVIDE DRIP CAP FLASHING ABOVE ALL EXTERIOR OPENINGS.
 - PROVIDE SELF ADHERING MEMBRANE AT EAVES AND VALLEYS.
 - ROOF FLASHING INSTALLED AT ALL VALLEYS, WALL INTERSECTIONS, AND JUNCTIONS WHERE WATER COULD PENETRATE THE ROOF DECK.
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LEFT ELEVATION

Tuesday, October 31, 2023 12:54 PM

REVISIONS:	DATE:	DETAIL REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	MODEL: BAYWOOD #3 - Major Mod.	DRAWING: LEFT ELEVATION		PROJECT NUMBER: R23-193-1703-1	
				CUSTOMER: WHITE 4TH AVE. S. KENORA, ON	SCALE: 1/4"=1'-0"		DRAWN BY: M.M.	SHEET NUMBER: 3 11
				STORE: KENORA H.H.B.C.	DATE: OCTOBER 2023		CHECKED BY: N.C.	

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QUALIFICATION INFORMATION
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Mike Metzloff 39417
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, subsection 3.2.4 of the O.B.C.

Home Hardware Stores Limited 30045
 FIRM NAME BCIN

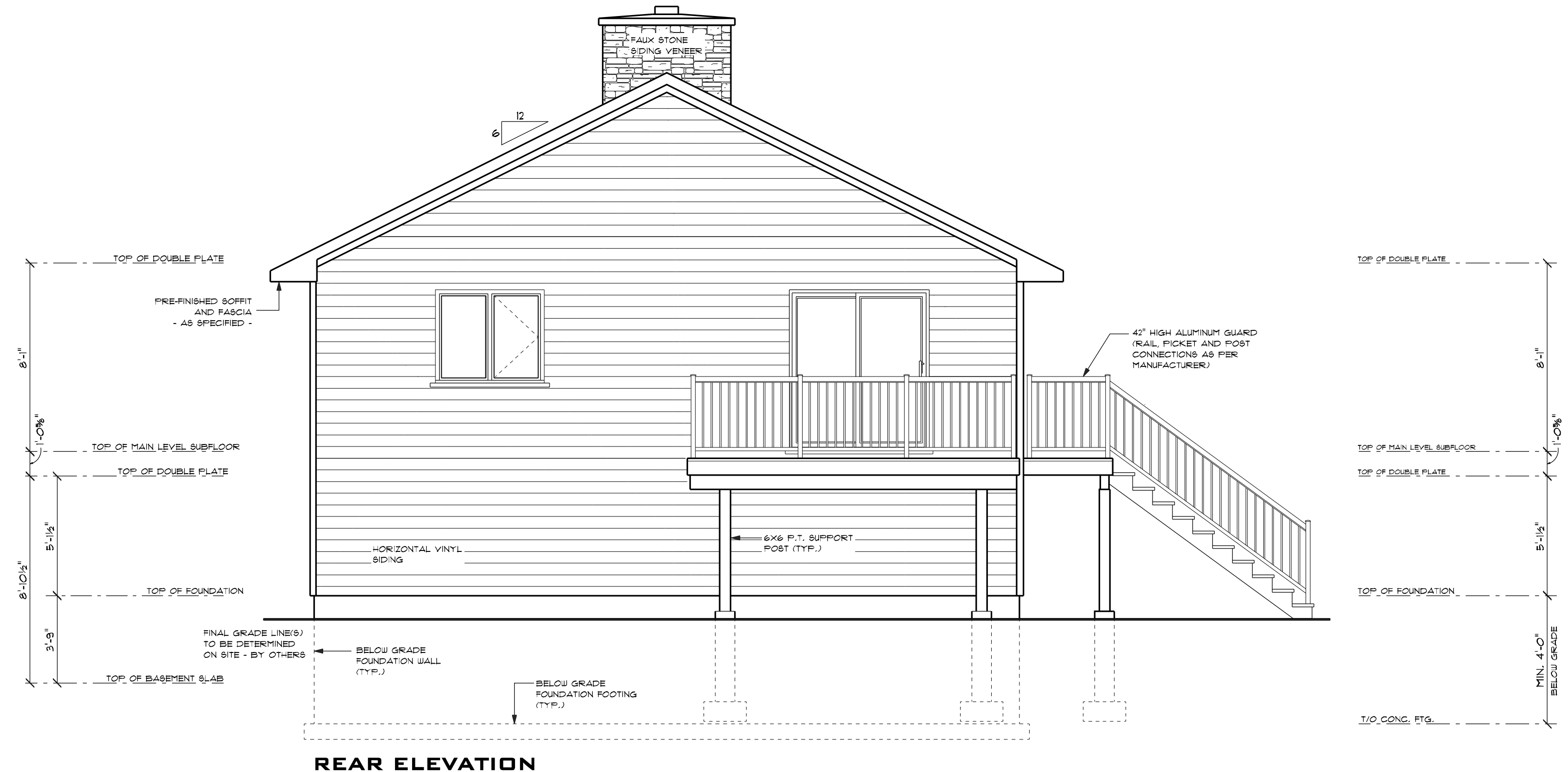
FLASHINGS AND VENTILATION:

WINDOW AND ROOF FLASHINGS:

- PROVIDE DRIP CAP FLASHING ABOVE ALL EXTERIOR OPENINGS.
- PROVIDE SELF ADHERING MEMBRANE AT EAVES AND VALLEYS.
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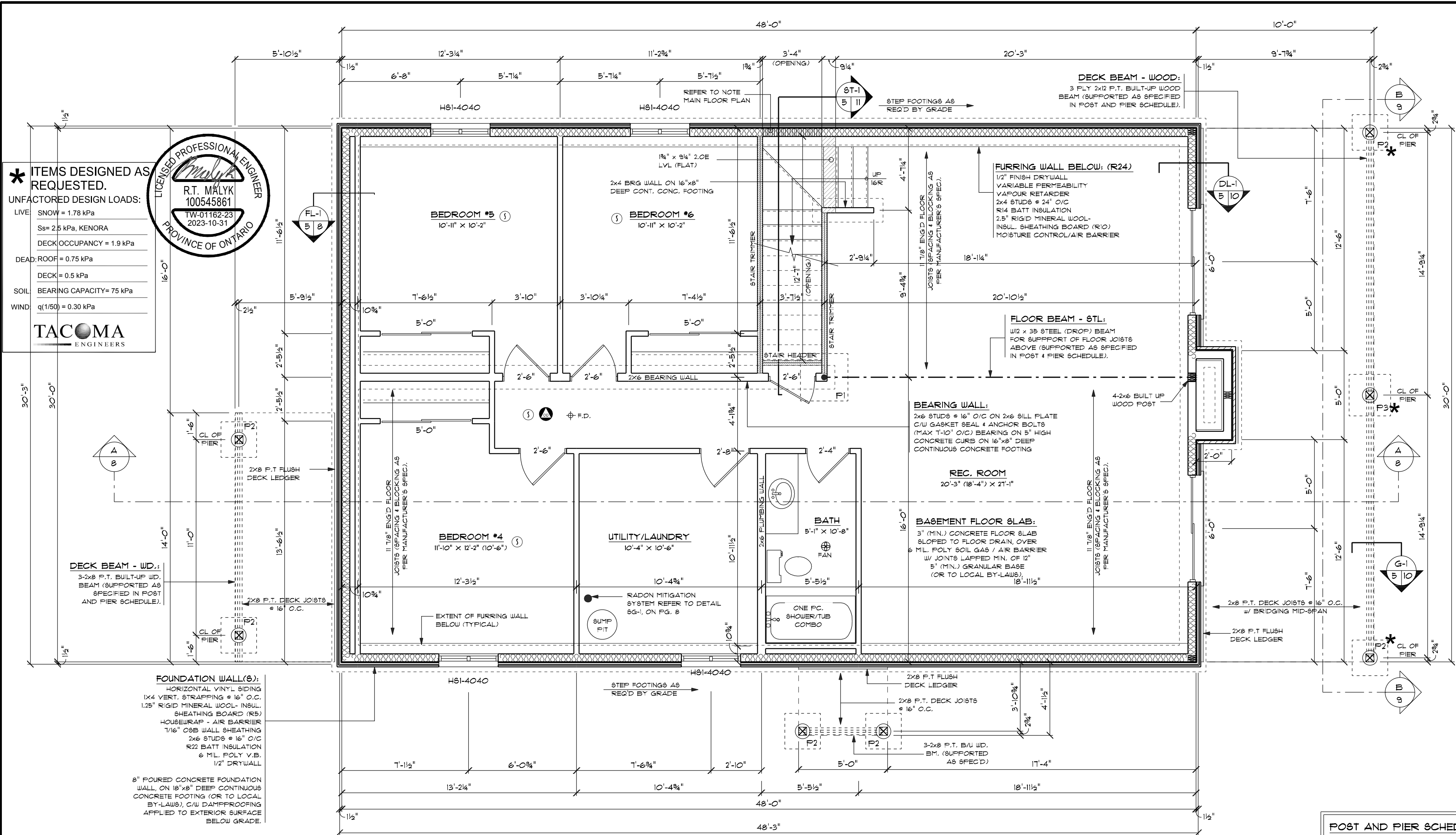
VENTILATION:

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Tuesday, October 31, 2023 12:54 PM

REVISIONS:	DATE:	DETAIL REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	MODEL: BAYWOOD #3 - Major Mod.	DRAWING: REAR ELEVATION	PROJECT NUMBER: R23-193-1703-1
		CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	CUSTOMER: WHITE 4TH AVE. S. KENORA, ON	SCALE: 1/4"=1'-0"	DRAWN BY: M.M.
			STORE: KENORA H.H.B.C.	DATE: OCTOBER 2023	CHECKED BY: N.C.
					SHEET NUMBER: 4 11



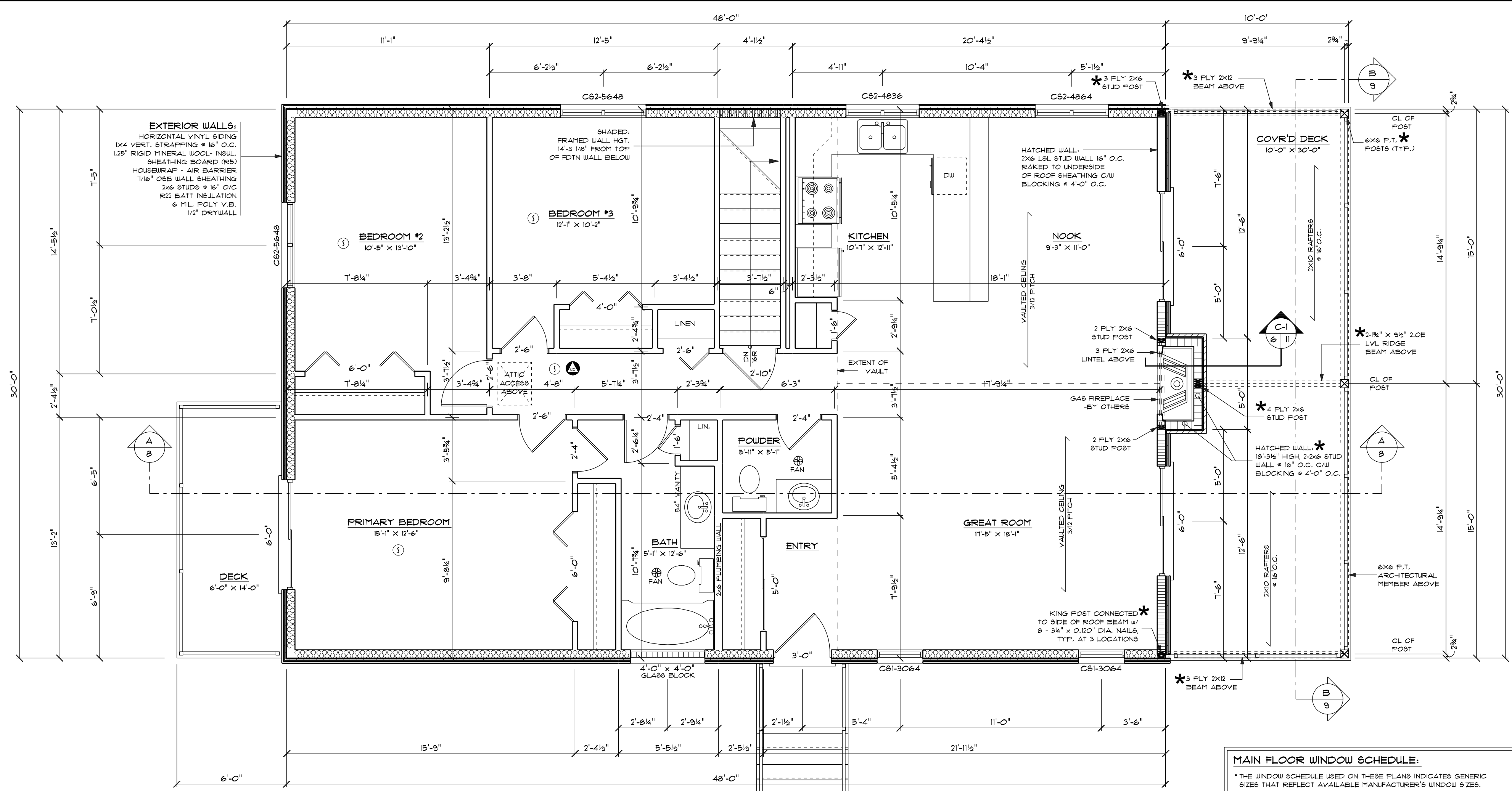
BASEMENT PLAN

1382 FINISHED SQ.FT

Tuesday, October 31, 2023 12:54 PM

REVISIONS: A B C	DETAIL REFERENCE: A B C	CROSS SECTION REFERENCE: A B	MODEL: BAYWOOD #3 - Major Mod.	DRAWING: FOUNDATION PLAN	PROJECT NUMBER: R23-193-1703-1
CUSTOMER: WHITE 4TH AVE. S. KENORA, ON	SCALE: 1/4"=1'-0"	DRAWN BY: M.M.	DATE: OCTOBER 2023	CHECKED BY: N.C.	SHEET NUMBER: 5 11
STORE: KENORA H.H.B.C.	FRM NAME: Home Hardware Stores Limited 30045 BCIN	REGISTRATION INFORMATION: Required unless design is exempt under Division C, subsection 3.2.4 of the O.B.C. Mike Metzloff NAME: Mike Metzloff SIGNATURE: [Signature] 39417 BCIN	THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION: Required unless design is exempt under Division C, subsection 3.2.5 of the O.B.C.	BACKFILL TABLE:	POST AND PIER SCHEDULE:





MAIN FLOOR PLAN
1440 SQ. FT.

*** ITEMS DESIGNED AS REQUESTED.**
UNFACTORED DESIGN LOADS:
LIVE: SNOW = 1.78 kPa
DECK OCCUPANCY = 1.9 kPa
DEAD: ROOF = 0.75 kPa
DECK = 0.5 kPa
SOIL: BEARING CAPACITY = 75 kPa
WIND: q(1/50) = 0.30 kPa



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
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Mike Metzloff 39417 BCIN
SIGNATURE

REGISTRATION INFORMATION
Required unless design is exempt under Division C, subsection 3.2.4 of the O.B.C.

Home Hardware Stores Limited 30045 BCIN
FIRM NAME

FIREPLACE NOTES:

- CONTRACTOR / OWNER TO REFER TO FIREPLACE MANUFACTURER'S LITERATURE FOR FRAMING / COMBUSTIBLE CLEARANCE REQUIREMENTS
- FRAMED WALLS SHOWN w/ 2x4 STUDS @ 16" O.C. w/ 1/2" DRYWALL FINISH
- FINAL DESIGN AND APPROVAL OF FIREPLACE BY OTHERS

MAIN FLOOR DIMENSIONS:

- EXTERIOR OVERALL DIMENSIONS ARE TO OUTSIDE FACE OF WALL STUDS, UNLESS NOTED OTHERWISE.
- EXTERIOR DIMENSIONS TO OPENINGS ARE TO CENTER OF THE OPENING.
- EXTERIOR DIMENSIONS TO INTERIOR WALL INTERSECTIONS ARE TO THE CENTER OF INTERSECTING STUD.
- INTERIOR DIMENSIONS ARE TO CENTER OF INTERIOR WALL STUDS, AND OUTSIDE FACE OF EXTERIOR WALL STUDS.

WOOD FRAMING:

LINTEL(S):

- ALL EXTERIOR LINTELS TO BE MINIMUM (2) PLY 2x10 C/W 2x4 DRYWALL NAILER AND PLYWOOD FILLERS BETWEEN EACH PLY, UNLESS NOTED OTHERWISE.

POST(S):

- ALL BUILT-UP STUD POSTS SHOWN, TO BE MINIMUM (3) PLY 2x6 OR 2x4 RESPECTIVE TO WALL SIZE, UNLESS NOTED OTHERWISE.
- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS.
- PROVIDE A SINGLE JACK STUD FOR EACH SIDE OF WINDOW AND DOOR OPENINGS, UNLESS SHOWN AND NOTED OTHERWISE.

WALL(S):

- ALL INTERIOR NON-LOADBEARING WALL(S) TO BE 2x4 STUDS, UNLESS NOTED OTHERWISE.
- TOP OF WALL(S) ARE AT 8" FROM TOP OF SUBFLOOR, UNLESS NOTED OTHERWISE.

MAIN FLOOR WINDOW SCHEDULE:

* THE WINDOW SCHEDULE USED ON THESE PLANS INDICATES GENERIC SIZES THAT REFLECT AVAILABLE MANUFACTURER'S WINDOW SIZES.
* CONFIRM ALL EXTERIOR WINDOW AND DOOR DIMENSIONS WITH MANUFACTURER'S REQUIRED ROUGH STUD OPENING SIZES, PRIOR TO START OF CONSTRUCTION.

PRODUCT CODES:

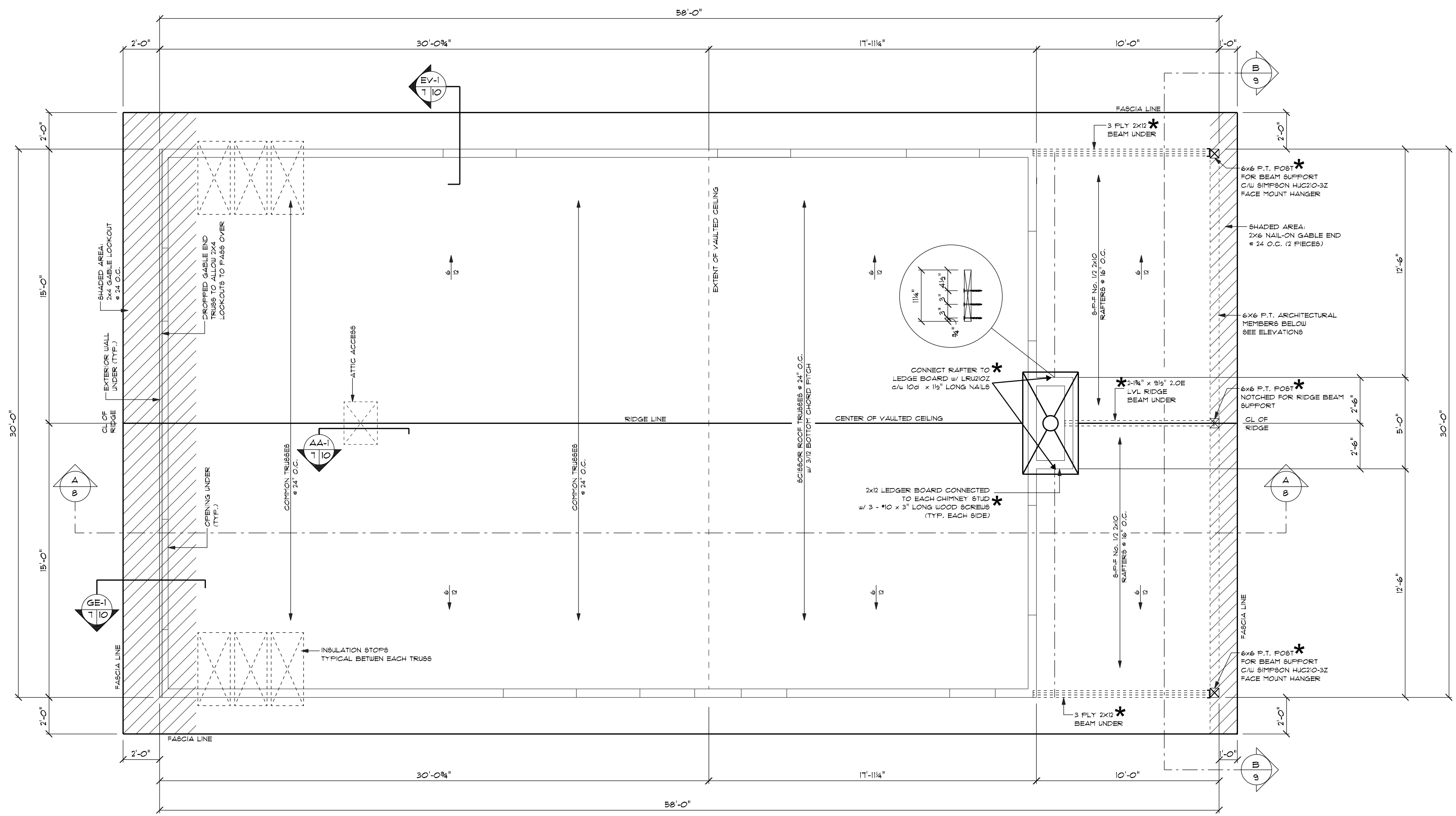
- H9 = HORIZONTAL SLIDER
- CS = CASEMENT
- EL = ELLIPTICAL
- DH = DOUBLE HUNG
- SH = SINGLE HUNG
- PC = PICTURE
- EL = ELLIPTICAL
- SG = SEGMENTAL
- RK = RAKED HEAD SCHEDULE

PRODUCT CODE	SIZE	ROUGH OPENING SIZE	COUNT	DISPLAY
CS1-3064	30" x 64"		2	
CS2-4836	48" x 36"		1	
CS2-5648	56" x 48"		2	
CS2-4864	48" x 64"		1	
GLASS BLOCK	48" x 48"		1	

Tuesday, October 31, 2023 12:54 PM

REVISIONS:	DATE:	DETAIL REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	MODEL: BAYWOOD #3 - Major Mod.	DRAWING: MAIN FLOOR PLAN	PROJECT NUMBER: R23-193-1703-1
CUSTOMER: WHITE 4TH AVE. S. KENORA, ON	SCALE: 1/4"=1'-0"	STORE: KENORA H.H.B.C.	DATE: OCTOBER 2023	DRAWN BY: M.M.	CHECKED BY: N.C.	SHEET NUMBER: 6 11





ROOF PLAN



*** ITEMS DESIGNED AS REQUESTED.**
UNFACTORED DESIGN LOADS:
 LIVE: SNOW = 1.78 kPa
 Ss = 2.5 kPa, KENORA
 DECK OCCUPANCY = 1.9 kPa
 DEAD: ROOF = 0.75 kPa
 DECK = 0.5 kPa
 SOIL: BEARING CAPACITY = 75 kPa
 WIND: q(1/50) = 0.30 kPa

TACOMA ENGINEERS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, subsection 3.2.5 of the O.B.C.

Mike Metzloff 39417
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, subsection 3.2.4 of the O.B.C.

Home Hardware Stores Limited 30045
 FIRM NAME BCIN

ROOF TRUSSES:

TRUSSES:

- PRE-ENGINEERED TRUSSES (WHERE SHOWN) ARE FOR REFERENCE ONLY. LAYOUT TO BE CONFIRMED BY MANUFACTURER, PRIOR TO THE START OF CONSTRUCTION.
- PRE-ENGINEERED TRUSSES TO BE ENGINEERED, INSTALLED, BRACED AND CONNECTED PER MANUFACTURER'S SPECIFICATIONS.
- NEVER CUT, NOTCH OR DRILL A PRE-ENGINEERED TRUSS TO OBTAIN SPACE, UNLESS ACCOMMODATED FOR IN MANUFACTURER'S DESIGN.
- SHEATHING EDGES PARALLEL TO ROOF RIDGE SHALL BE SUPPORTED BY METAL "H" CLIPS IN EACH TRUSS SPACE.
- TRUSS HEEL HEIGHT TO BE 8", UNLESS NOTED OTHERWISE.

FLASHINGS AND VENTILATION:

ROOF FLASHINGS:

- PROVIDE SELF ADHERING MEMBRANE AT EAVES AND VALLEYS.
- ROOF FLASHING INSTALLED AT ALL VALLEYS, WALL INTERSECTIONS, AND JUNCTIONS WHERE WATER COULD PENETRATE THE ROOF DECK.

VENTILATION:

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ROOF DIMENSIONS:

- EXTERIOR OVERALL DIMENSIONS ARE TO OUTSIDE FACE OF WALL STUDS, UNLESS NOTED OTHERWISE.
- DIMENSIONS TO OVERHANGS ARE TO OUTSIDE FACE OF SUB-FASCIA.

Tuesday, October 31, 2023 12:54 PM

REVISIONS:	DATE:						
<table border="1"> <tr> <td></td> <td>A DETAIL NUMBER</td> </tr> <tr> <td></td> <td>B SHEET NUMBER - WHERE DETAIL REQUIRED</td> </tr> <tr> <td></td> <td>C SHEET NUMBER - WHERE DETAILED</td> </tr> </table>			A DETAIL NUMBER		B SHEET NUMBER - WHERE DETAIL REQUIRED		C SHEET NUMBER - WHERE DETAILED
	A DETAIL NUMBER						
	B SHEET NUMBER - WHERE DETAIL REQUIRED						
	C SHEET NUMBER - WHERE DETAILED						
<table border="1"> <tr> <td></td> <td>A DETAIL NUMBER</td> </tr> <tr> <td></td> <td>B SHEET NUMBER - WHERE DETAIL REQUIRED</td> </tr> </table>			A DETAIL NUMBER		B SHEET NUMBER - WHERE DETAIL REQUIRED		
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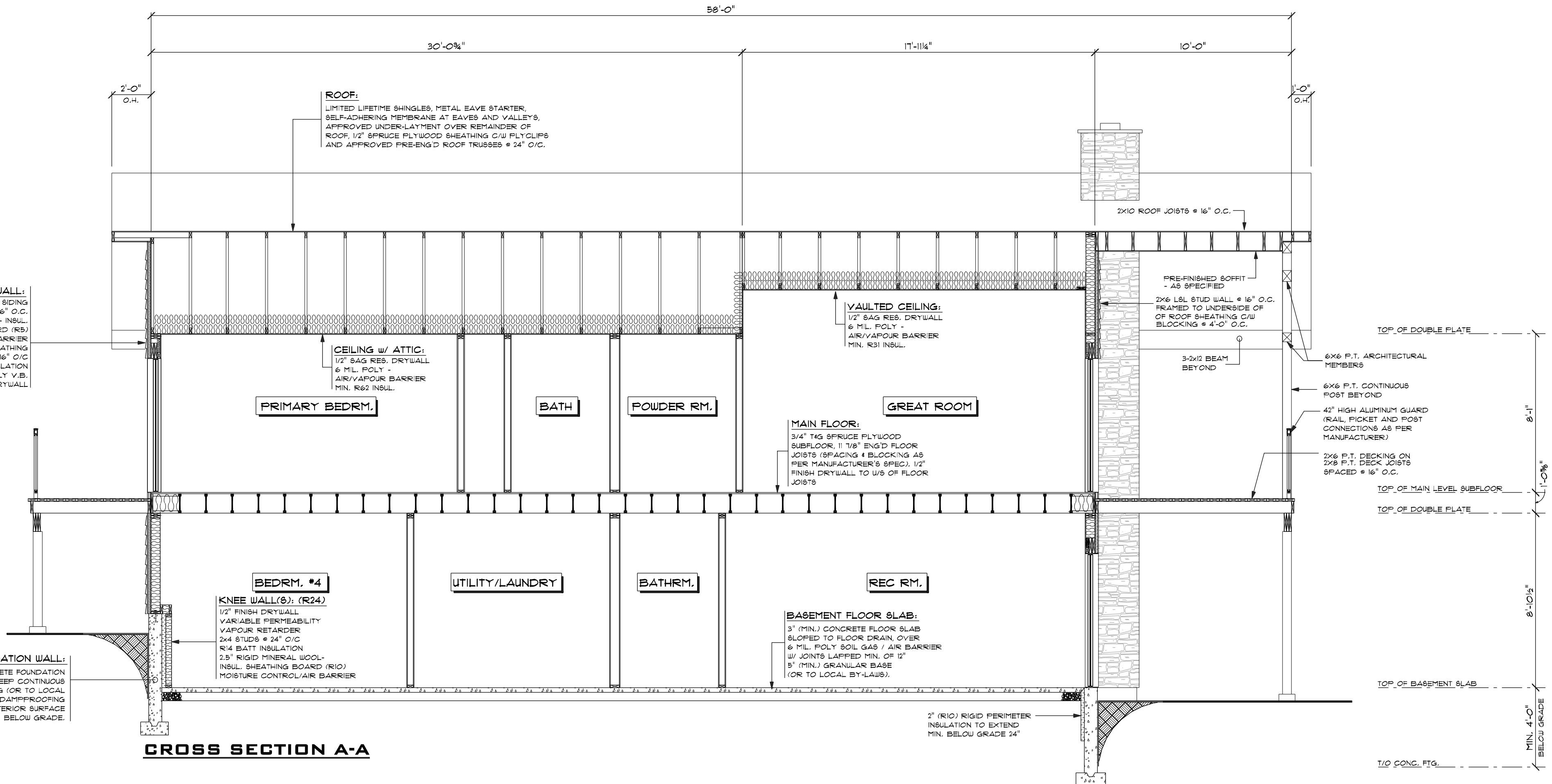
DETAIL REFERENCE:	
	A DETAIL NUMBER
	B SHEET NUMBER - WHERE DETAIL REQUIRED
	C SHEET NUMBER - WHERE DETAILED
CROSS SECTION REFERENCE:	
	A DETAIL NUMBER
	B SHEET NUMBER - WHERE DETAIL REQUIRED

MODEL:	BAYWOOD #3 - Major Mod.
CUSTOMER:	WHITE 4TH AVE. S. KENORA, ON
STORE:	KENORA H.H.B.C.

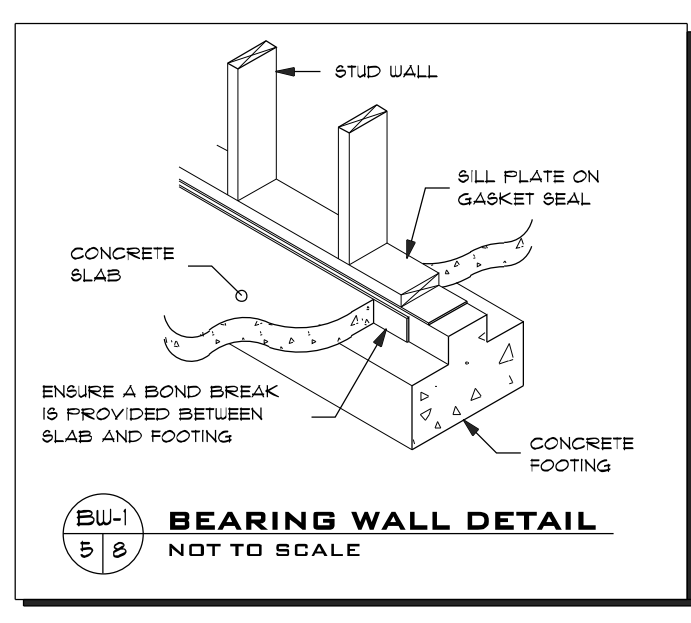
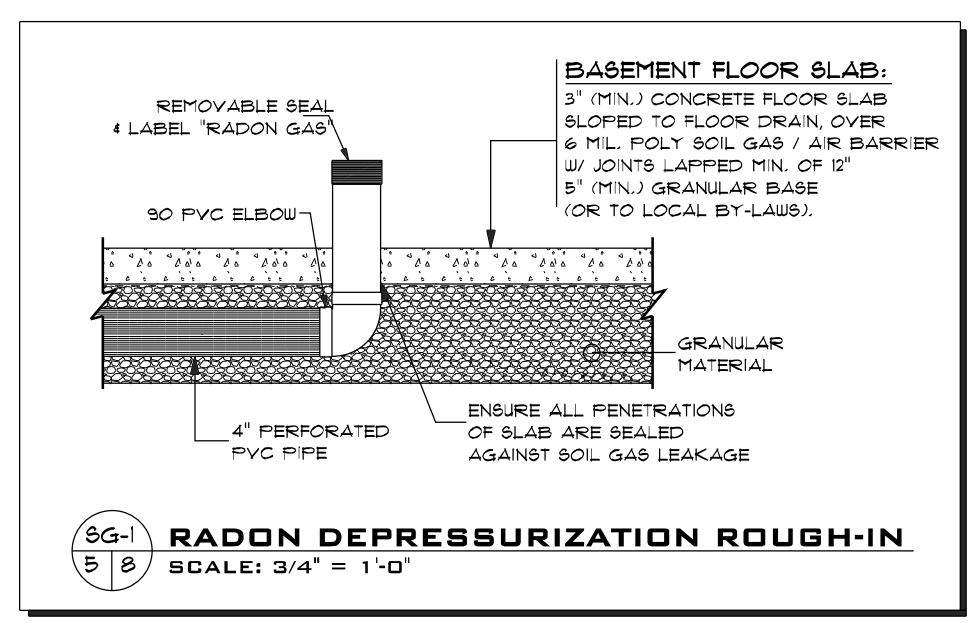
DRAWING:	ROOF PLAN
SCALE:	1/4"=1'-0"
DATE:	OCTOBER 2023
DRAWN BY:	M.M.
CHECKED BY:	N.C.



PROJECT NUMBER:	R23-193-1703-1
SHEET NUMBER:	7 11



CROSS SECTION A-A



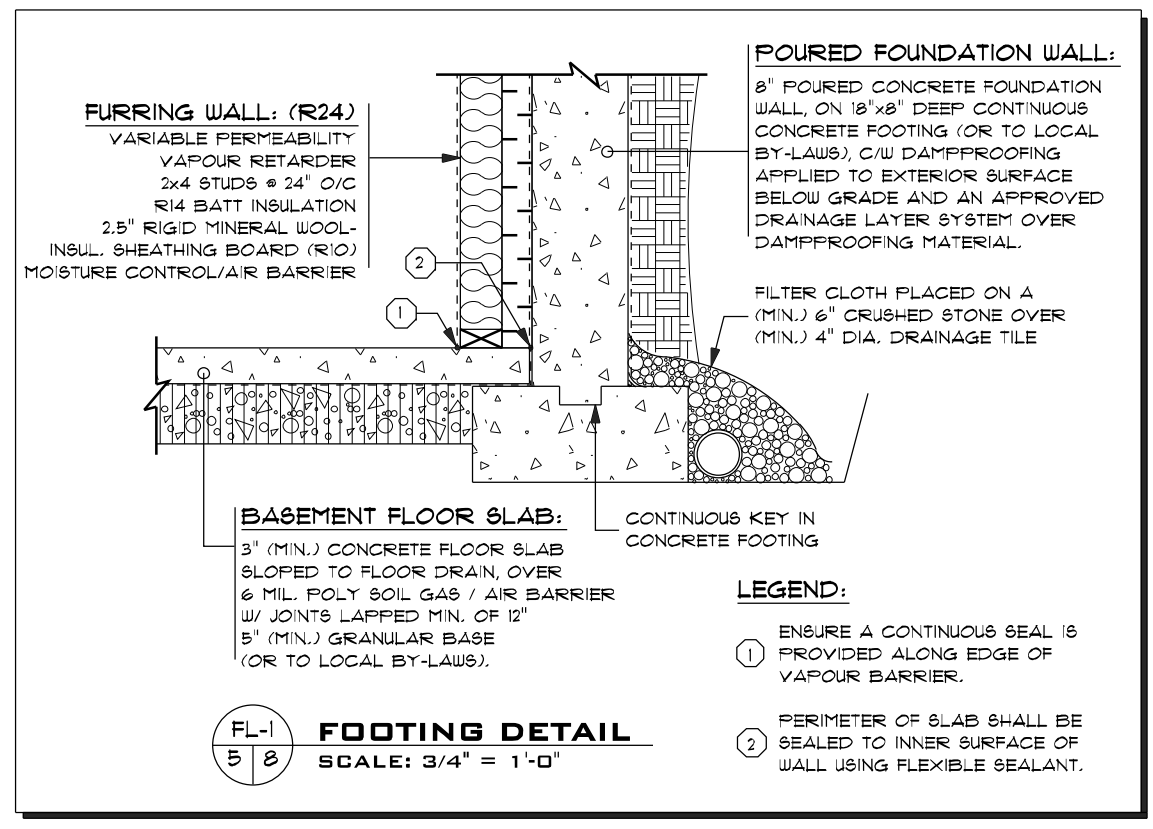
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QUALIFICATION INFORMATION
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Mike Metzloff
NAME SIGNATURE BCIN 39417

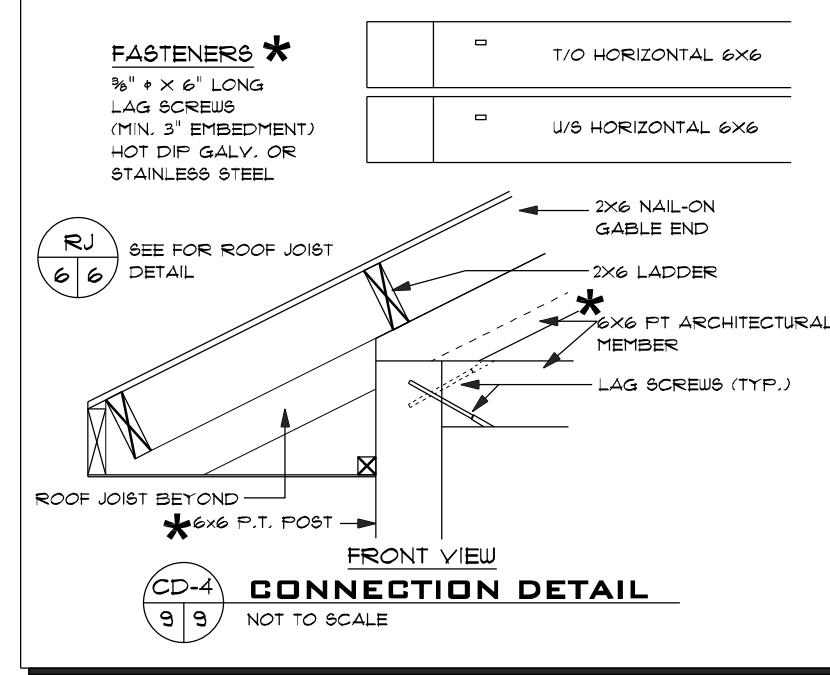
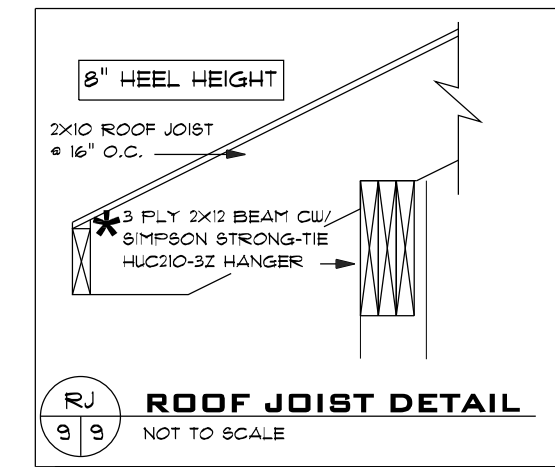
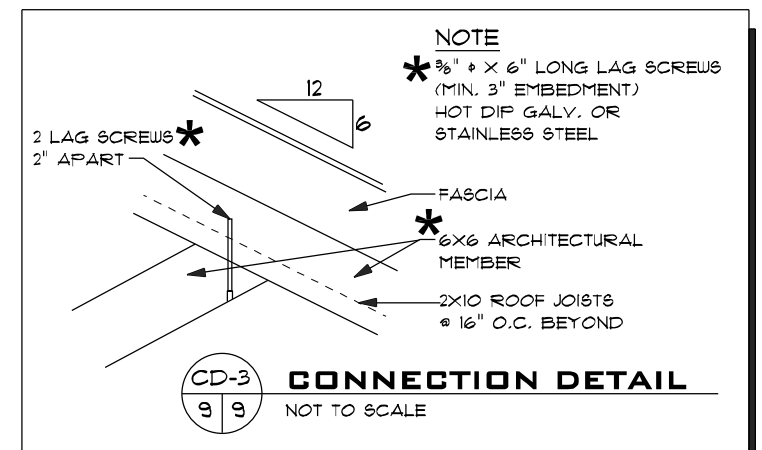
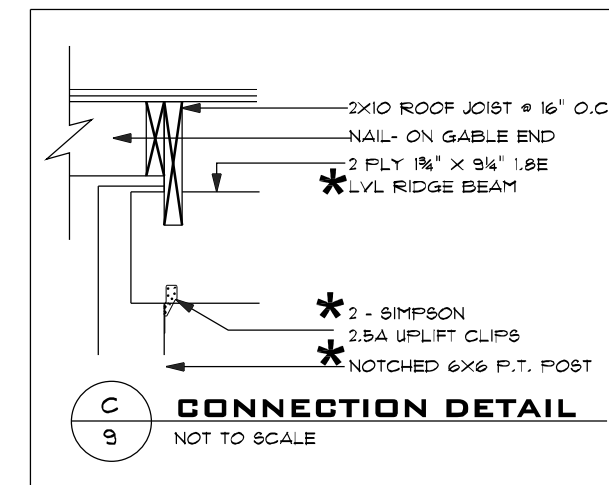
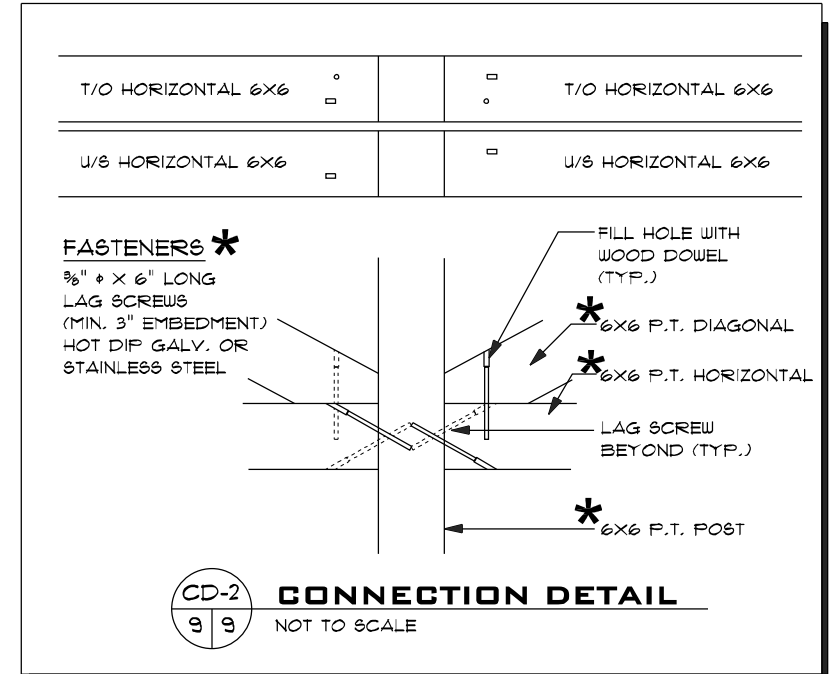
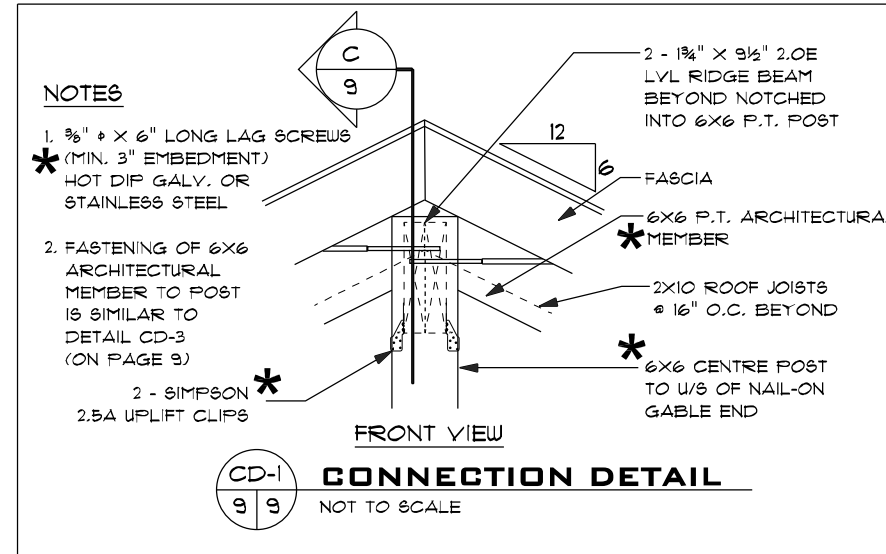
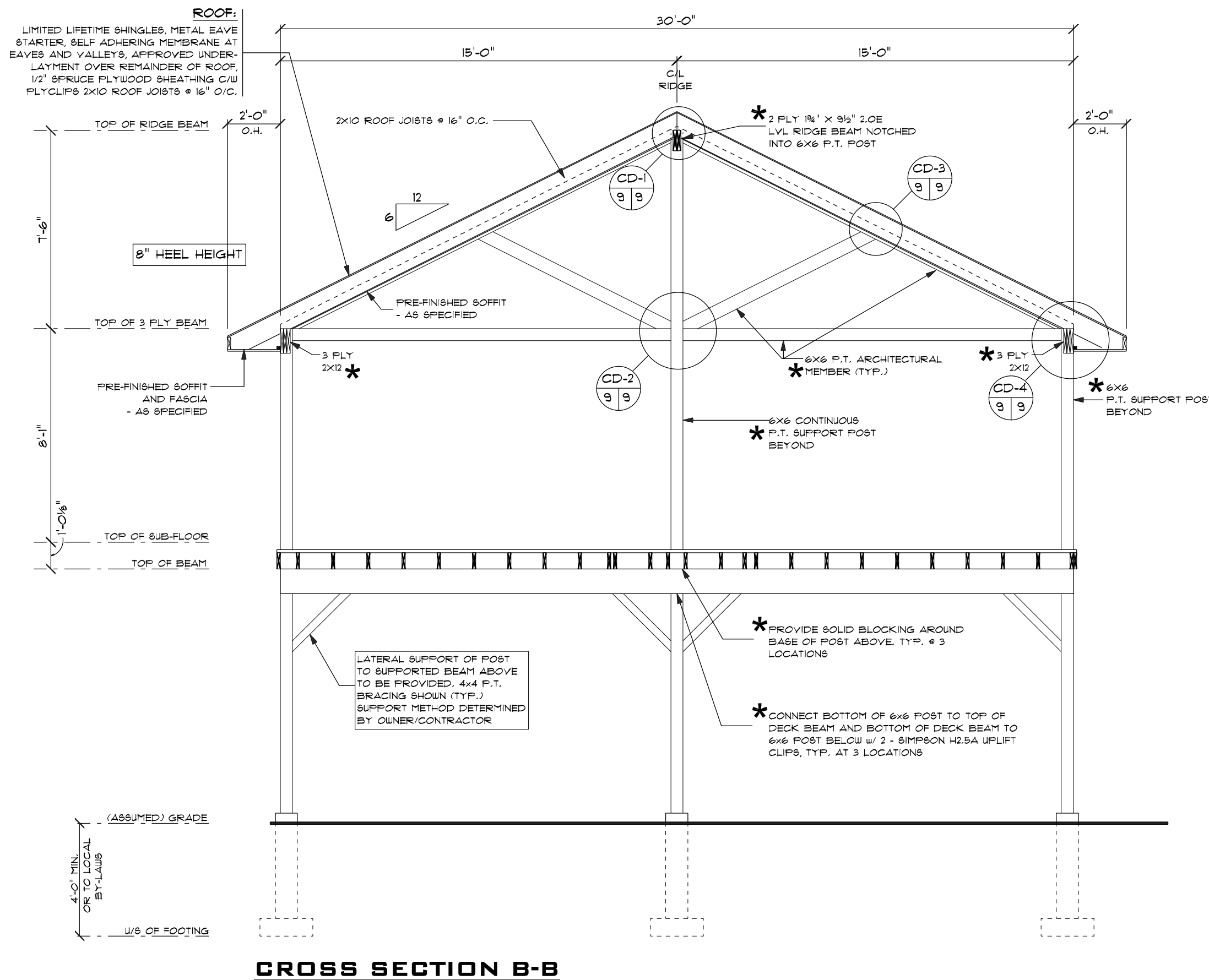
REGISTRATION INFORMATION
Required unless design is exempt: under Division C, subsection 3.2.4 of the O.B.C.

Home Hardware Stores Limited 30045
FIRM NAME BCIN



Tuesday, October 31, 2023 12:54 PM

REVISIONS:	DATE:	DETAIL REFERENCE:	MODEL:	DRAWING:	PROJECT NUMBER:
		A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	BAYWOOD #3 - Major Mod.	CROSS SECTION & DETAILS	R23-193-1703-1
		CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	CUSTOMER: WHITE 4TH AVE. S. KENORA, ON	SCALE: 1/4"=1'-0"	SHEET NUMBER:
			STORE: KENORA H.H.B.C.	DATE: OCTOBER 2023	8 11
				DRAWN BY: M.M. CHECKED BY: N.C.	



- STRUCTURAL NOTES: ***
- WOOD FRAMING DESIGN AND CONSTRUCTION SHALL CONFORM TO CAN/CSA-086 'ENGINEERING DESIGN IN WOOD'
 - BOLT AND LAG SCREW CONNECTIONS SHALL BE MADE USING GRADE 430T BOLTS
 - LAG SCREWS TO BE INSTALLED IN PRE-DRILLED HOLES
 - BOLTS MUST HAVE A TYPICAL ROUND WASHER, U.N.O.
 - ALL 6x6 FRAMING TO BE 5PF NO.2 OR BETTER

*** ITEMS DESIGNED AS REQUESTED.**

UNFACTORED DESIGN LOADS:

LIVE: SNOW = 1.78 kPa

Ss = 2.5 kPa, KENORA

DECK OCCUPANCY = 1.9 kPa

DEAD: ROOF = 0.75 kPa

DECK = 0.5 kPa

SOIL: BEARING CAPACITY = 75 kPa

WIND: q(1/50) = 0.30 kPa

TACOMA ENGINEERS



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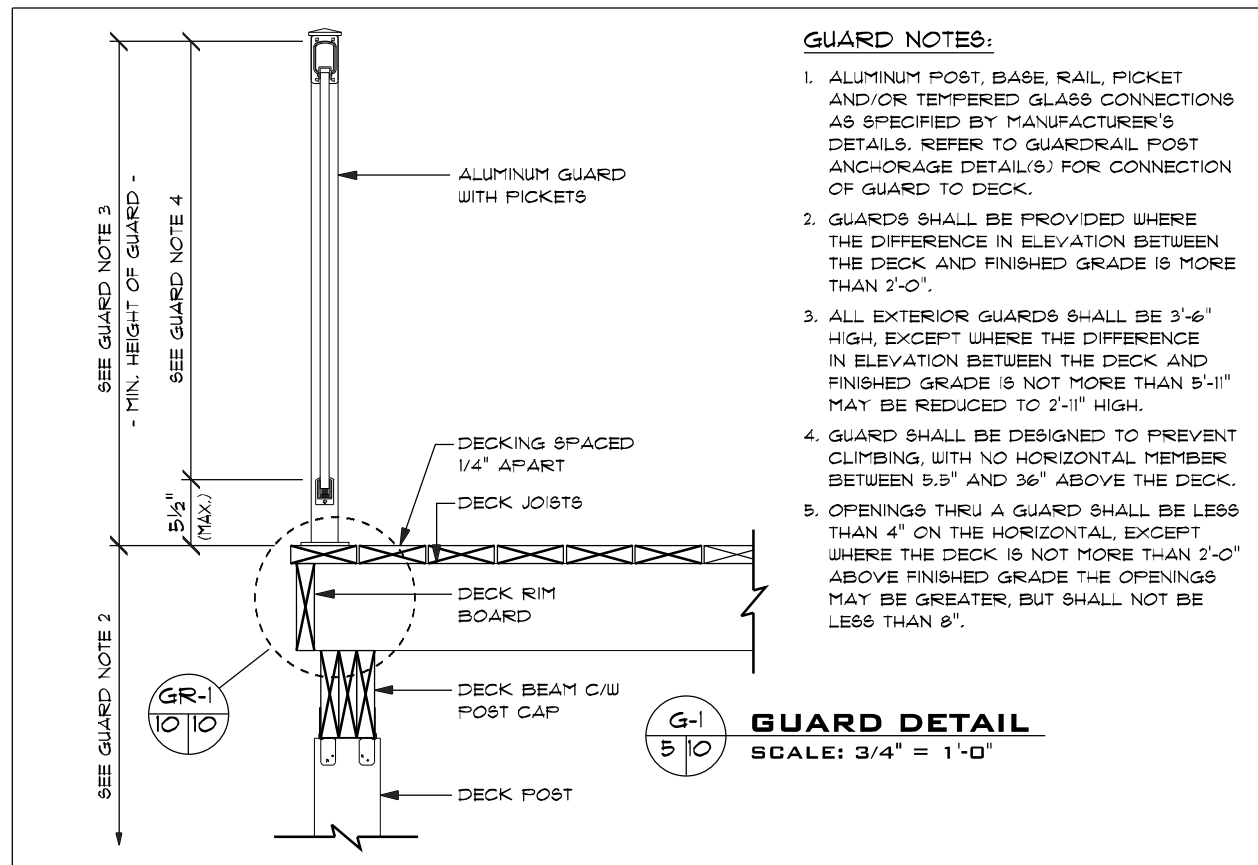
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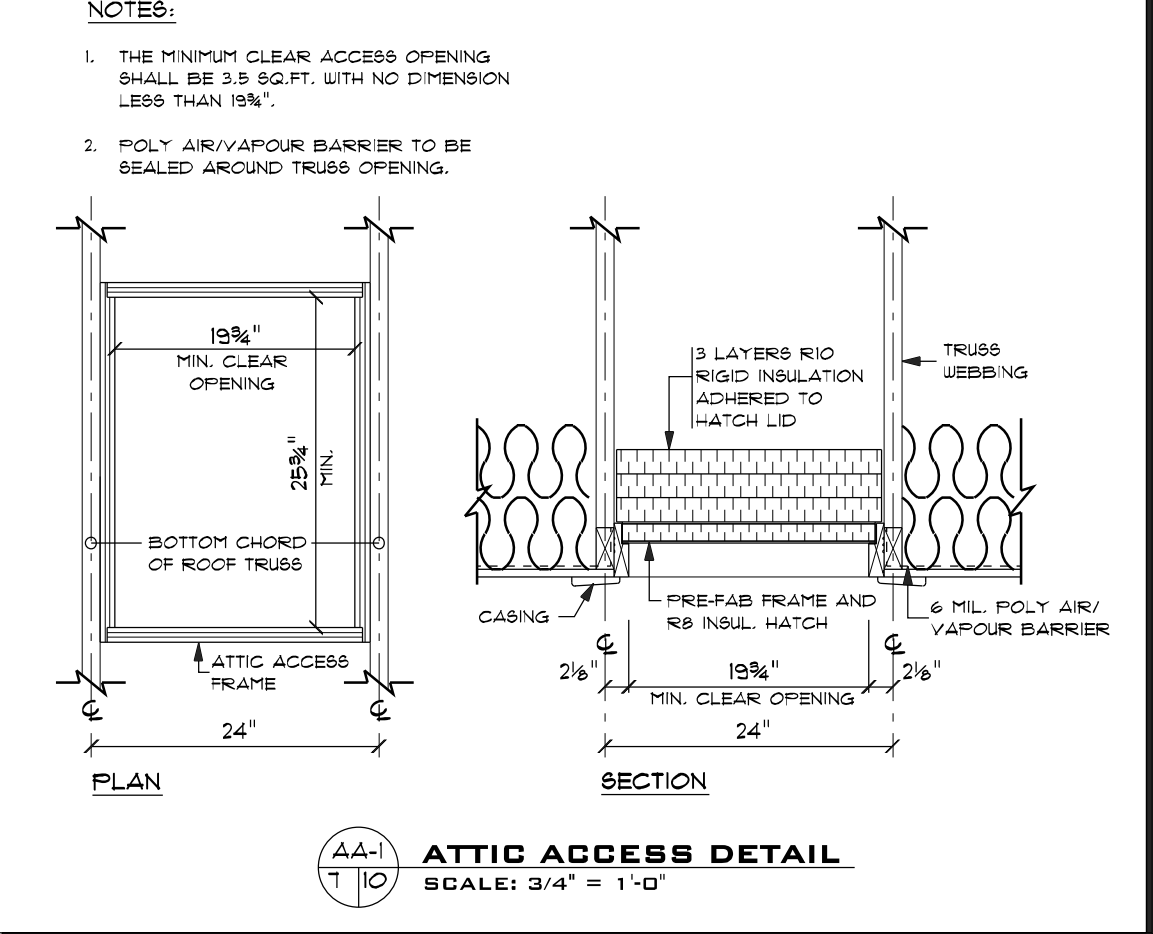
REVISIONS:	DATE:	DETAIL REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	MODEL: BAYWOOD #3 - Major Mod.	DRAWING: SECTION & TIMBER CONNECTION DETAILS	PROJECT NUMBER: R23-193-1703-1
		CROSS SECTION REFERENCE: A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	CUSTOMER: WHITE 4TH AVE. S. KENORA, ON	SCALE: 1/4"=1'-0"	SHEET NUMBER: 9 11
			STORE: KENORA H.H.B.C.	DATE: OCTOBER 2023	
				DRAWN BY: M.M.	
				CHECKED BY: N.C.	





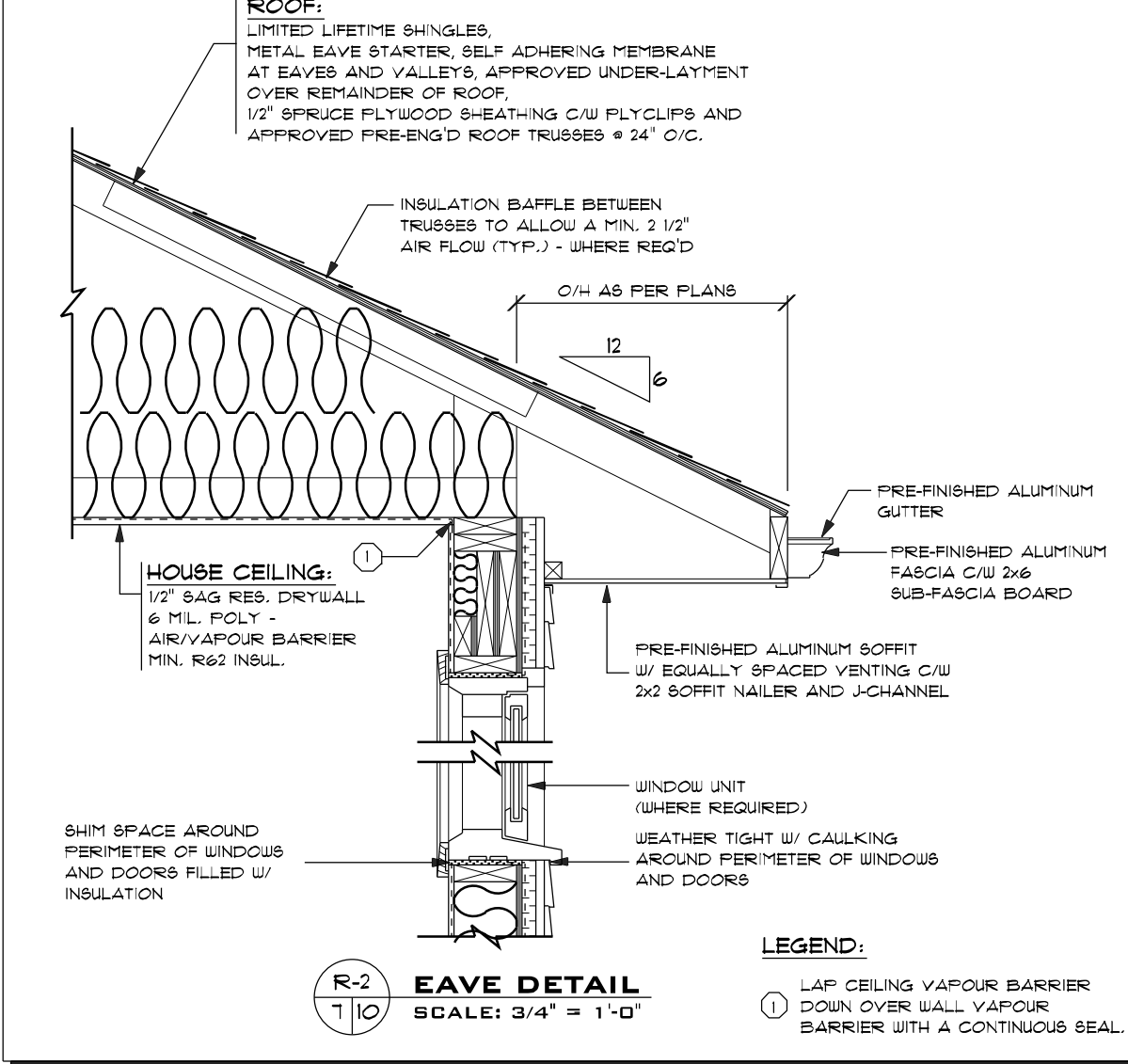
- GUARD NOTES:**
1. ALUMINUM POST, BASE, RAIL, PICKET AND/OR TEMPERED GLASS CONNECTIONS AS SPECIFIED BY MANUFACTURER'S DETAILS. REFER TO GUARDRAIL POST ANCHORAGE DETAIL(S) FOR CONNECTION OF GUARD TO DECK.
 2. GUARDS SHALL BE PROVIDED WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE DECK AND FINISHED GRADE IS MORE THAN 2'-0".
 3. ALL EXTERIOR GUARDS SHALL BE 3'-6" HIGH, EXCEPT WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE DECK AND FINISHED GRADE IS NOT MORE THAN 5'-11" MAY BE REDUCED TO 2'-11" HIGH.
 4. GUARD SHALL BE DESIGNED TO PREVENT CLIMBING, WITH NO HORIZONTAL MEMBER BETWEEN 5'-5" AND 36" ABOVE THE DECK.
 5. OPENINGS THRU A GUARD SHALL BE LESS THAN 4" ON THE HORIZONTAL, EXCEPT WHERE THE DECK IS NOT MORE THAN 2'-0" ABOVE FINISHED GRADE THE OPENINGS MAY BE GREATER, BUT SHALL NOT BE LESS THAN 8".

GUARD DETAIL
SCALE: 3/4" = 1'-0"

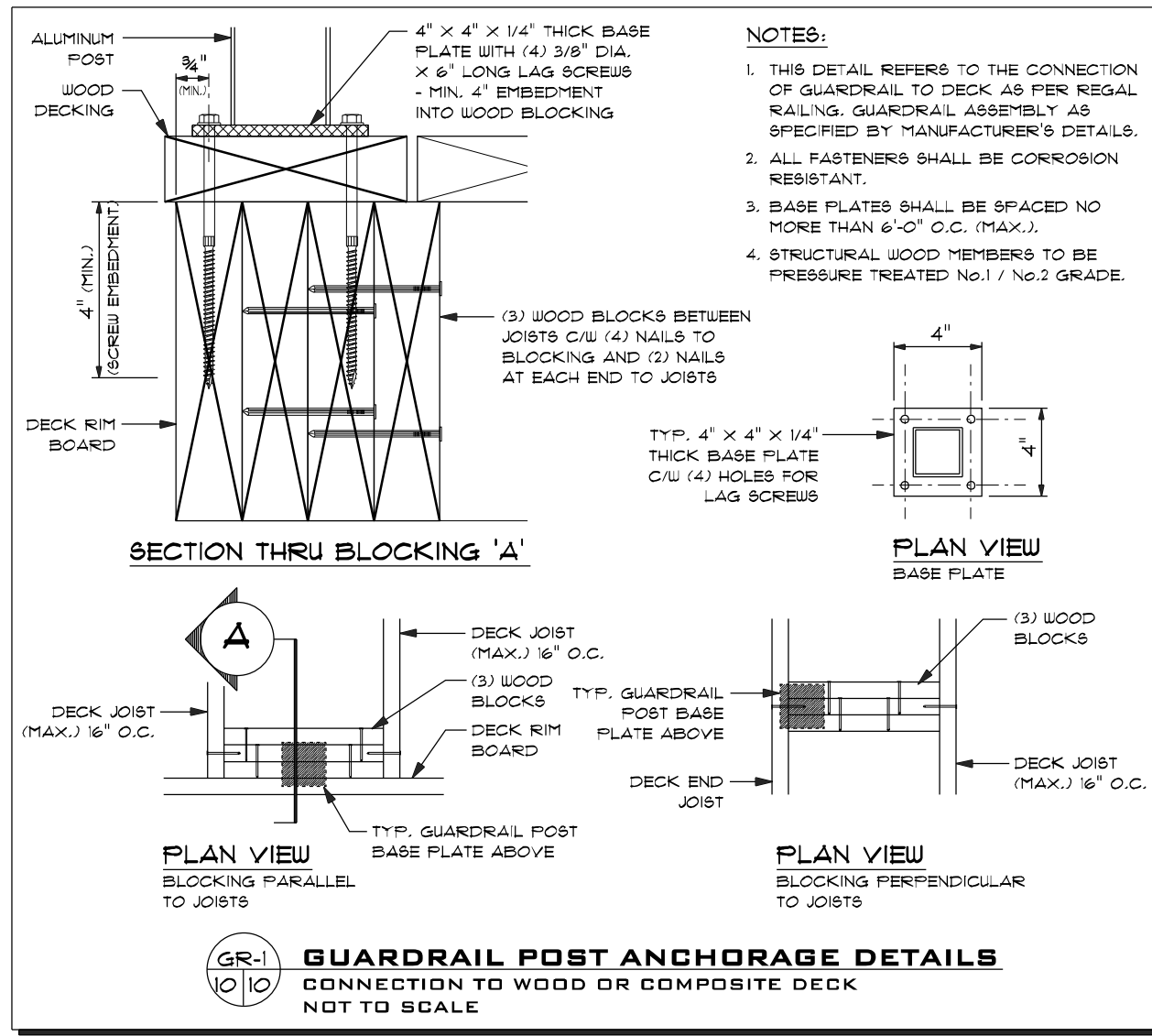


- NOTES:**
1. THE MINIMUM CLEAR ACCESS OPENING SHALL BE 3.5 SQ.FT. WITH NO DIMENSION LESS THAN 19 3/4".
 2. POLY AIR/VAPOUR BARRIER TO BE SEALED AROUND TRUSS OPENING.

ATTIC ACCESS DETAIL
SCALE: 3/4" = 1'-0"

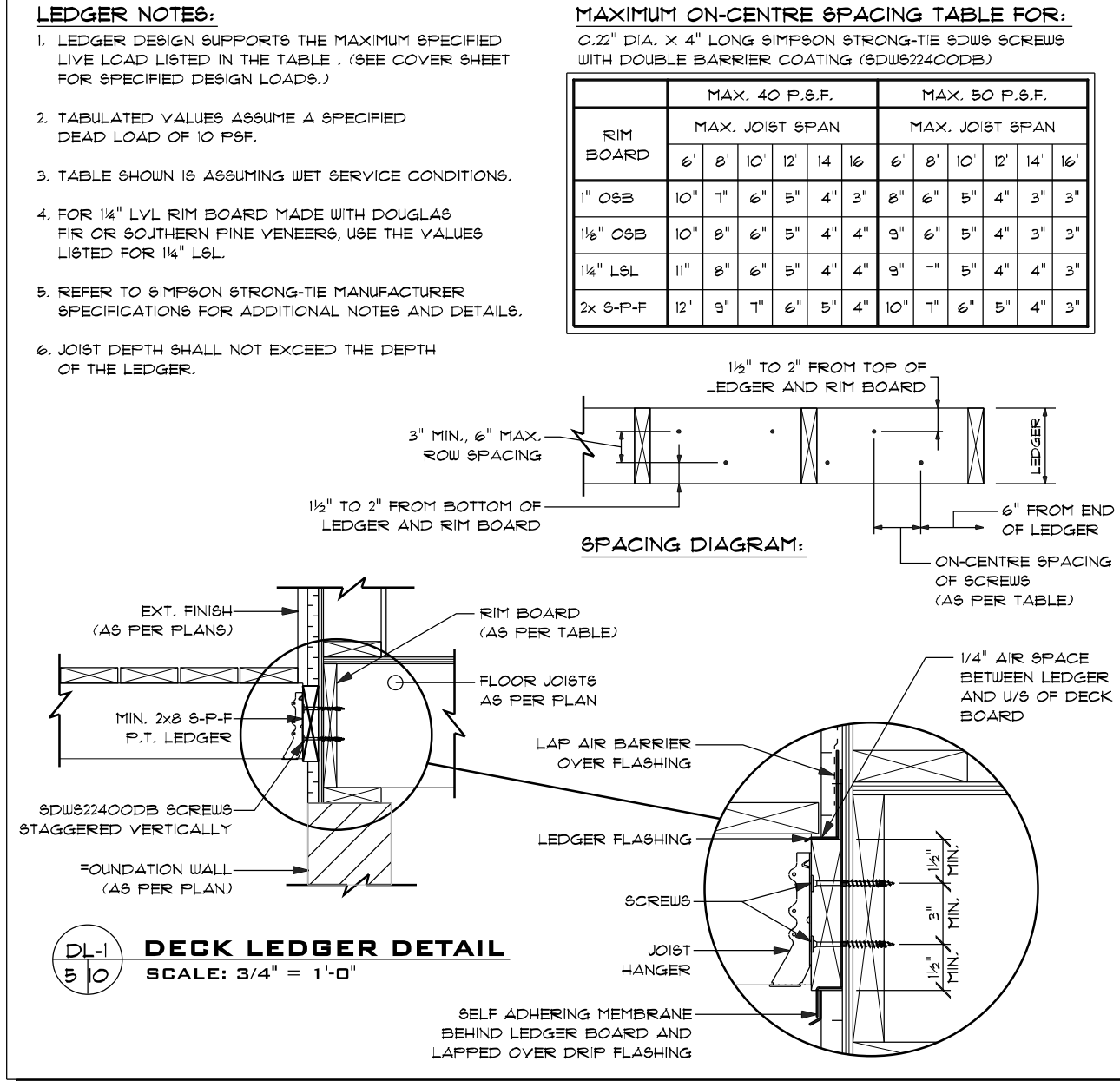


EAVE DETAIL
SCALE: 3/4" = 1'-0"



- NOTES:**
1. THIS DETAIL REFERS TO THE CONNECTION OF GUARDRAIL TO DECK AS PER REGAL RAILING, GUARDRAIL ASSEMBLY AS SPECIFIED BY MANUFACTURER'S DETAILS.
 2. ALL FASTENERS SHALL BE CORROSION RESISTANT.
 3. BASE PLATES SHALL BE SPACED NO MORE THAN 6'-0" O.C. (MAX.).
 4. STRUCTURAL WOOD MEMBERS TO BE PRESSURE TREATED No.1 / No.2 GRADE.

GUARDRAIL POST ANCHORAGE DETAILS
CONNECTION TO WOOD OR COMPOSITE DECK
NOT TO SCALE

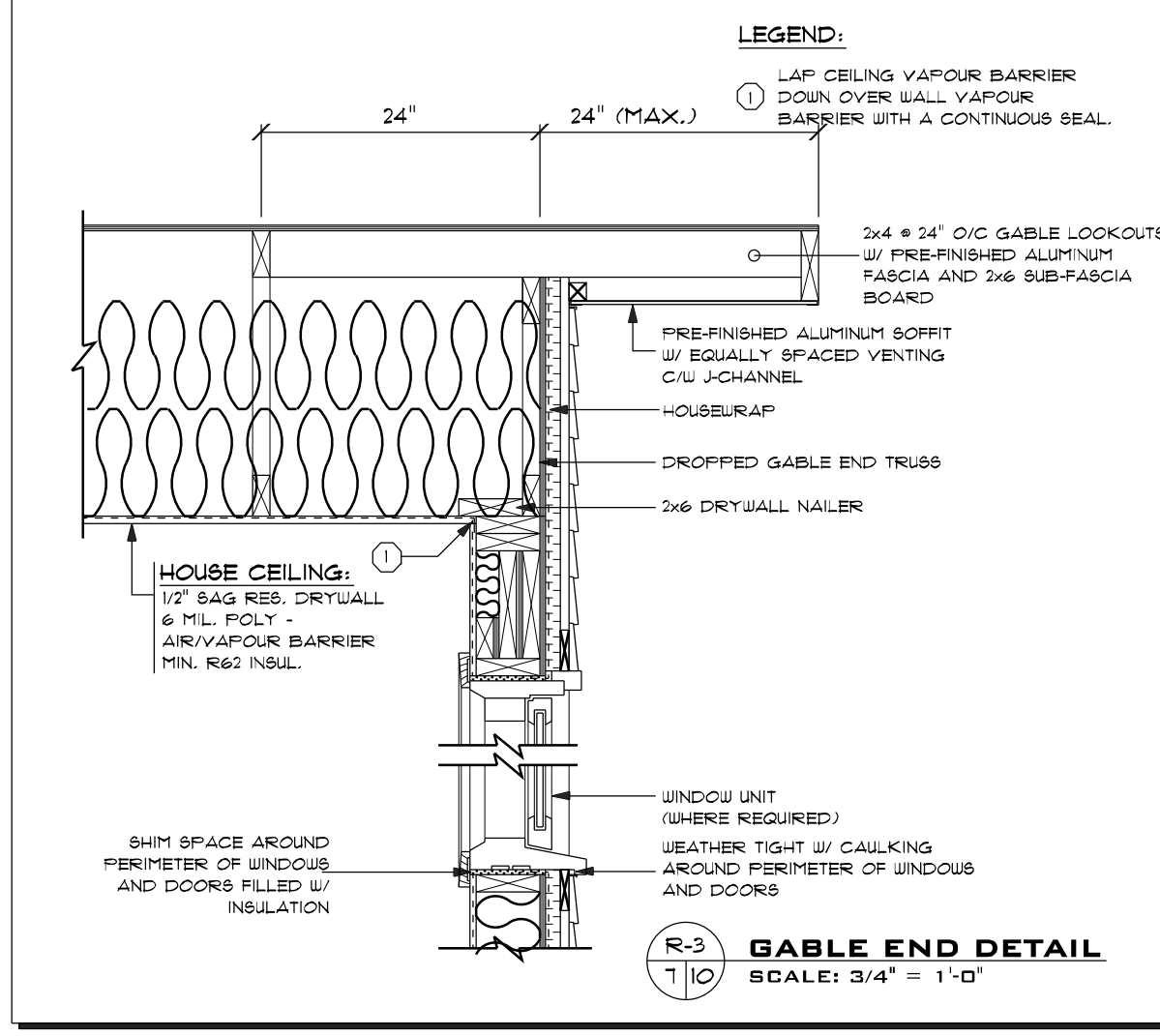


- LEDGER NOTES:**
1. LEDGER DESIGN SUPPORTS THE MAXIMUM SPECIFIED LIVE LOAD LISTED IN THE TABLE. (SEE COVER SHEET FOR SPECIFIED DESIGN LOADS.)
 2. TABULATED VALUES ASSUME A SPECIFIED DEAD LOAD OF 10 PSF.
 3. TABLE SHOWN IS ASSUMING WET SERVICE CONDITIONS.
 4. FOR 1 1/2" LVL RIM BOARD MADE WITH DOUGLAS FIR OR SOUTHERN PINE VENEERS, USE THE VALUES LISTED FOR 1 1/4" LSL.
 5. REFER TO SIMPSON STRONG-TIE MANUFACTURER SPECIFICATIONS FOR ADDITIONAL NOTES AND DETAILS.
 6. JOIST DEPTH SHALL NOT EXCEED THE DEPTH OF THE LEDGER.

MAXIMUM ON-CENTRE SPACING TABLE FOR:
0.22" DIA. X 4" LONG SIMPSON STRONG-TIE SDWS SCREWS WITH DOUBLE BARRIER COATING (SDWS224OODB)

RIM BOARD	MAX. 40 P.S.F.					MAX. 50 P.S.F.				
	6"	8"	10"	12"	14"	6"	8"	10"	12"	14"
1" OSB	10'	7'	6'	5'	4'	3'	8'	6'	5'	4'
1 1/2" OSB	10'	8'	6'	5'	4'	4'	9'	6'	5'	4'
1 1/4" LSL	11'	8'	6'	5'	4'	4'	9'	7'	5'	4'
2x S-P-F	12'	8'	7'	6'	5'	4'	10'	7'	6'	5'

DECK LEDGER DETAIL
SCALE: 3/4" = 1'-0"



GABLE END DETAIL
SCALE: 3/4" = 1'-0"

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NAME SIGNATURE 39417 BCIN

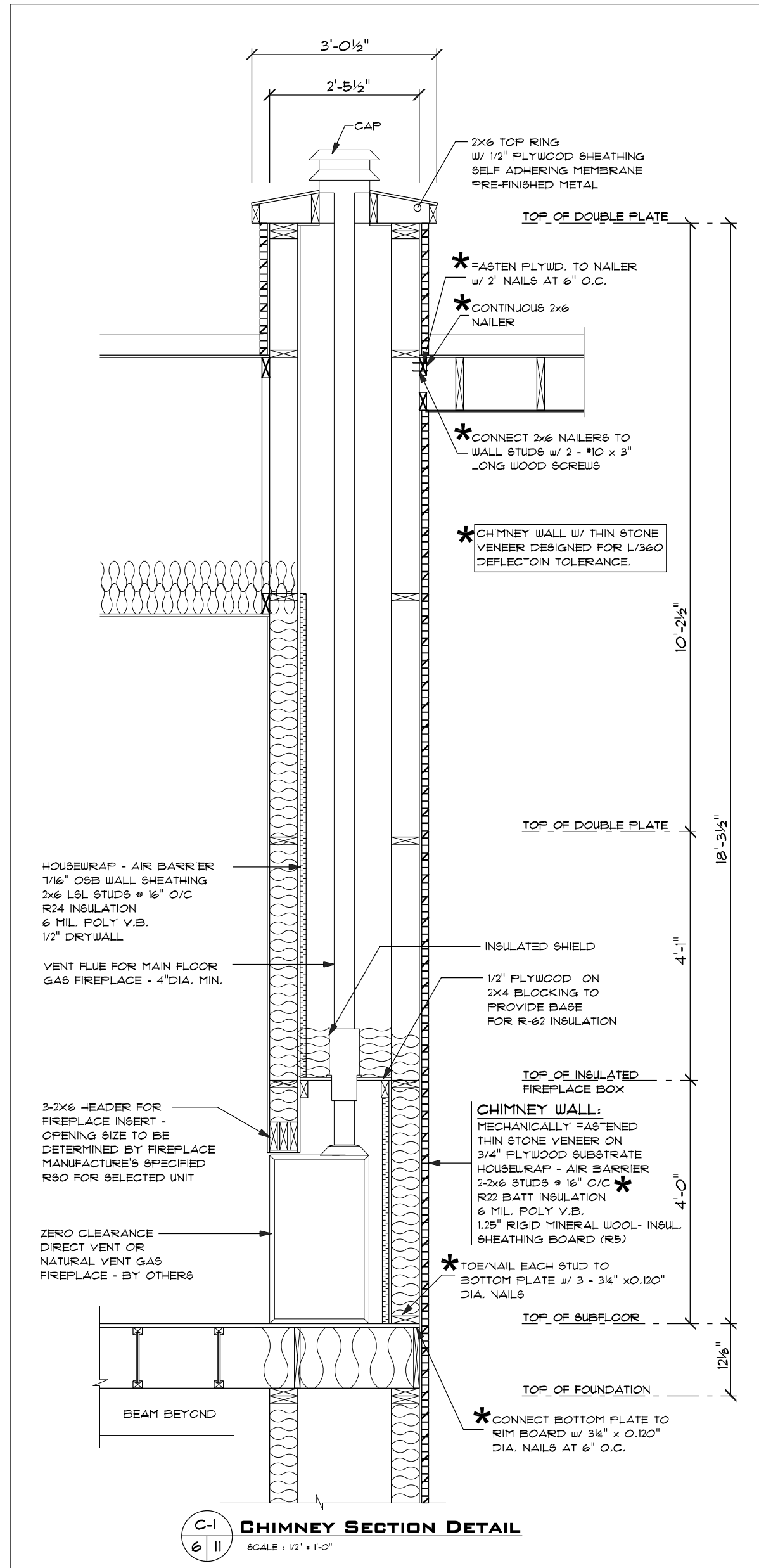
REGISTRATION INFORMATION
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Home Hardware Stores Limited
FIRM NAME 30045 BCIN

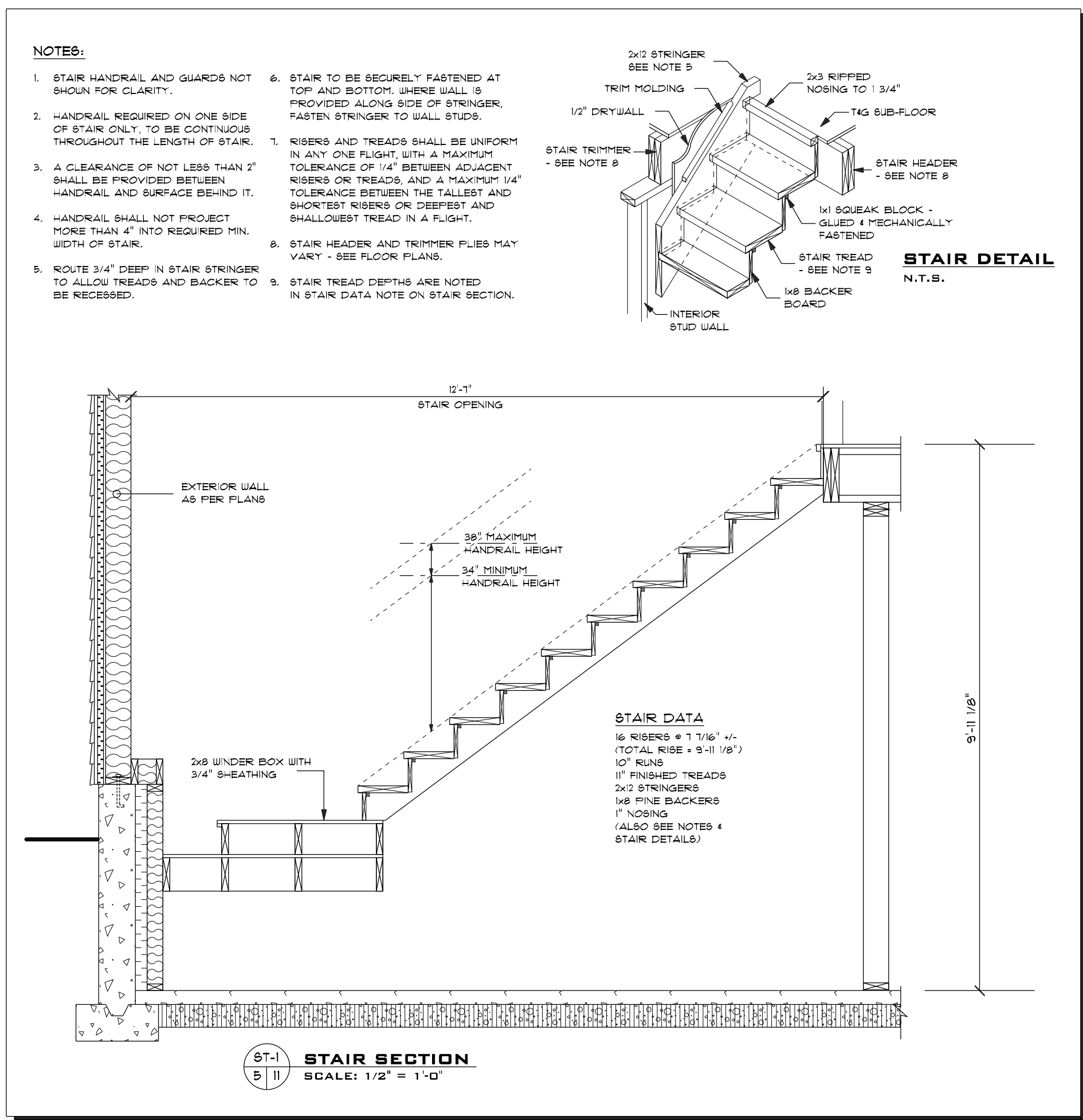
Tuesday, October 31, 2023 12:55 PM

REVISIONS:	DATE:	DETAIL REFERENCE:	MODEL:	DRAWING:	PROJECT NUMBER:
		A DETAIL NUMBER	BAYWOOD #3 - Major Mod.	CONSTRUCTION DETAILS	R23-193-1703-1
		B SHEET NUMBER - WHERE DETAIL REQUIRED	CUSTOMER:	SCALE:	SHEET NUMBER:
		C SHEET NUMBER - WHERE DETAILED	WHITE	1/4"=1'-0"	
		CROSS SECTION REFERENCE:	4TH AVE. S. KENORA, ON	DATE:	
		A DETAIL NUMBER	KENORA H.H.B.C.	OCTOBER 2023	
		B SHEET NUMBER - WHERE DETAIL REQUIRED			
			STORE:	CHECKED BY:	
				N.C.	



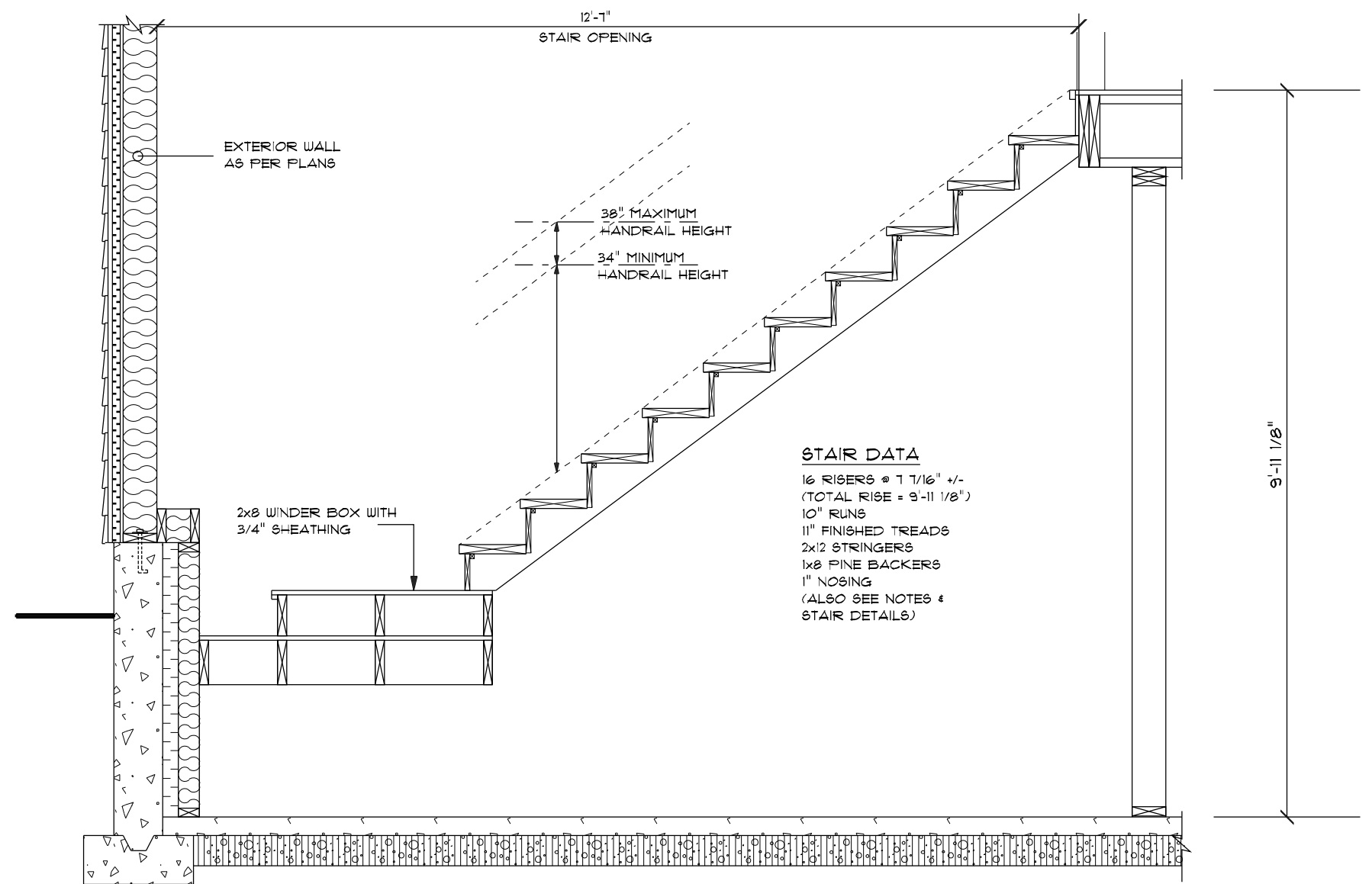


C-1 CHIMNEY SECTION DETAIL
SCALE: 1/2" = 1'-0"



STAIR DETAIL
N.T.S.

- NOTES:**
1. STAIR HANDRAIL AND GUARDS NOT SHOWN FOR CLARITY.
 2. HANDRAIL REQUIRED ON ONE SIDE OF STAIR ONLY, TO BE CONTINUOUS THROUGHOUT THE LENGTH OF STAIR.
 3. A CLEARANCE OF NOT LESS THAN 2" SHALL BE PROVIDED BETWEEN HANDRAIL AND SURFACE BEHIND IT.
 4. HANDRAIL SHALL NOT PROJECT MORE THAN 4" INTO REQUIRED MIN. WIDTH OF STAIR.
 5. ROUTE 3/4" DEEP IN STAIR STRINGER TO ALLOW TREADS AND BACKER TO BE RECESSED.
 6. STAIR TO BE SECURELY FASTENED AT TOP AND BOTTOM, WHERE WALL IS PROVIDED ALONG SIDE OF STRINGER, FASTEN STRINGER TO WALL STUDS.
 7. RISERS AND TREADS SHALL BE UNIFORM IN ANY ONE FLIGHT, WITH A MAXIMUM TOLERANCE OF 1/4" BETWEEN ADJACENT RISERS OR TREADS, AND A MAXIMUM 1/4" TOLERANCE BETWEEN THE TALLEST AND SHORTEST RISERS OR DEEPEST AND SHALLOWEST TREAD IN A FLIGHT.
 8. STAIR HEADER AND TRIMMER PLIES MAY VARY - SEE FLOOR PLANS.
 9. STAIR TREAD DEPTHS ARE NOTED IN STAIR DATA NOTE ON STAIR SECTION.



ST-1 STAIR SECTION
SCALE: 1/2" = 1'-0"



*** ITEMS DESIGNED AS REQUESTED.**

UNFACTORED DESIGN LOADS:

LIVE: SNOW = 1.78 kPa
 Ss= 2.5 kPa, KENORA
 DECK OCCUPANCY = 1.9 kPa

DEAD: ROOF = 0.75 kPa
 DECK = 0.5 kPa

SOIL: BEARING CAPACITY = 75 kPa

WIND: q(150) = 0.30 kPa

TACOMA ENGINEERS

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 FIRM NAME BCIN

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REVISIONS: DATE: DETAIL REFERENCE: CROSS SECTION REFERENCE:	MODEL: BAYWOOD #3 - Major Mod.	DRAWING: CHIMNEY & STAIR DETAILS	PROJECT NUMBER: R23-193-1703-1
A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED C SHEET NUMBER - WHERE DETAILED	CUSTOMER: WHITE 4TH AVE. S. KENORA, ON	SCALE: 1/4"=1'-0"	DRAWN BY: M.M.
A DETAIL NUMBER B SHEET NUMBER - WHERE DETAIL REQUIRED	STORE: KENORA H.H.B.C.	DATE: OCTOBER 2023	CHECKED BY: N.C.
			Home hardware building centre 11 11

QUALIFICATION INFO:

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DESIGNER : **RAMAN SANDHU**

BCIN NO: **109894**



GENERAL NOTES:

ALL DRAWINGS ARE PROPERTY OF DESIGNER AND MUST BE RETURNED UPON REQUEST.

REPRODUCTION IN WHOLE OR IN PART IS FORBIDDEN WITHOUT PERMISSION OF DESIGNER.

ALL DIMENSIONS AND INFORMATION SHOWN ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE.

ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS.

DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL APPROVED BY BUILDING DEPARTMENT.

DATE: 03/02/22

PROJECT NO: LBD053

REVISION:	DATE:

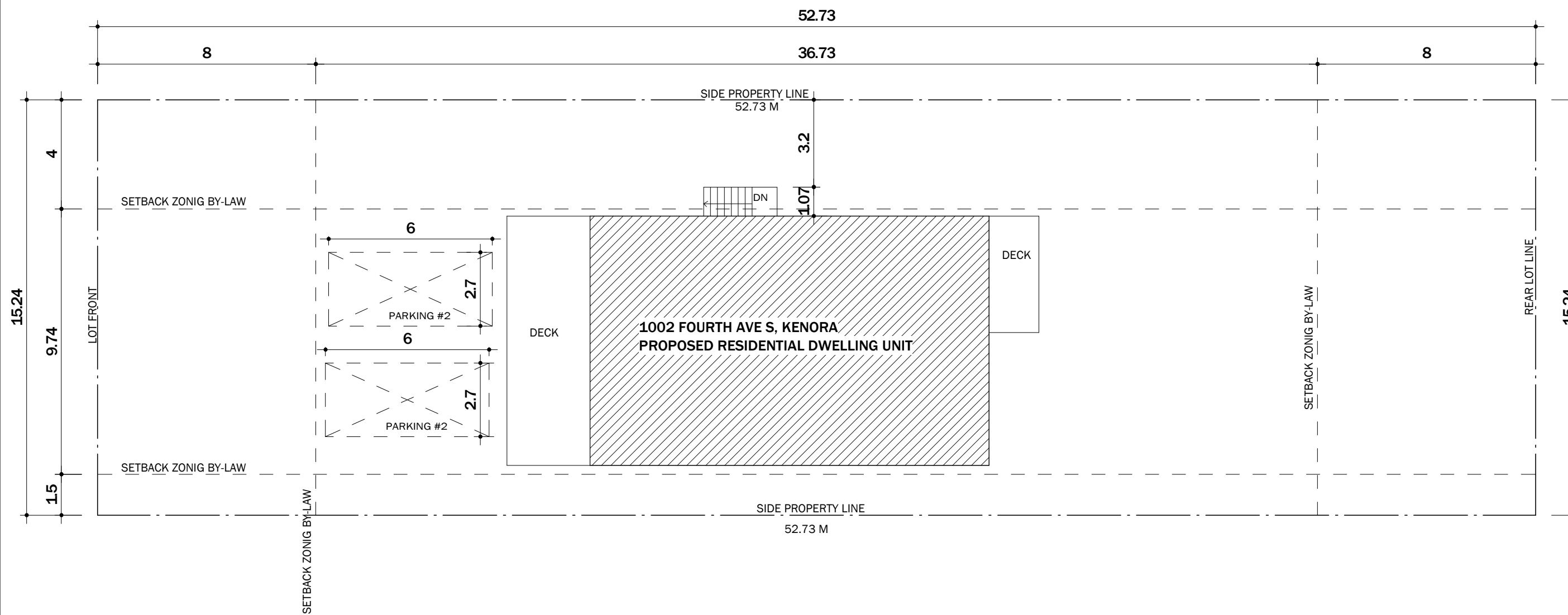
PROJECT ADDRESS:

SHEET TITLE:

SITE PLAN

DRAWN BY: R.S.

SHEET NO: A099



1 SITE PLAN
 SCALE: 1:155



To: City of Kenora Planning Advisory Committee
From: Tara Vader, Associate Planner
Date: January 10, 2025
Re: Minor Variance Application – File D13-25-01
Location: 1002 Third Avenue South
Owner/Applicant: 1000089155 Ont. Inc./Tyler White

RECOMMENDATION

It is recommended that this application for minor variance be **approved with the recommended conditions.**

INTRODUCTION

The purpose of this minor variance application is to seek relief from the City of Kenora Zoning By-law 101-2015 to permit a two-storey dwelling. The application is seeking relief from Section 4.1.3 (d) which requires an interior side yard (minimum) of 2.5 metres for a two-storey dwelling. This application proposes to reduce the interior side yard by 1 metre to permit a 1.5 metre interior side yard.

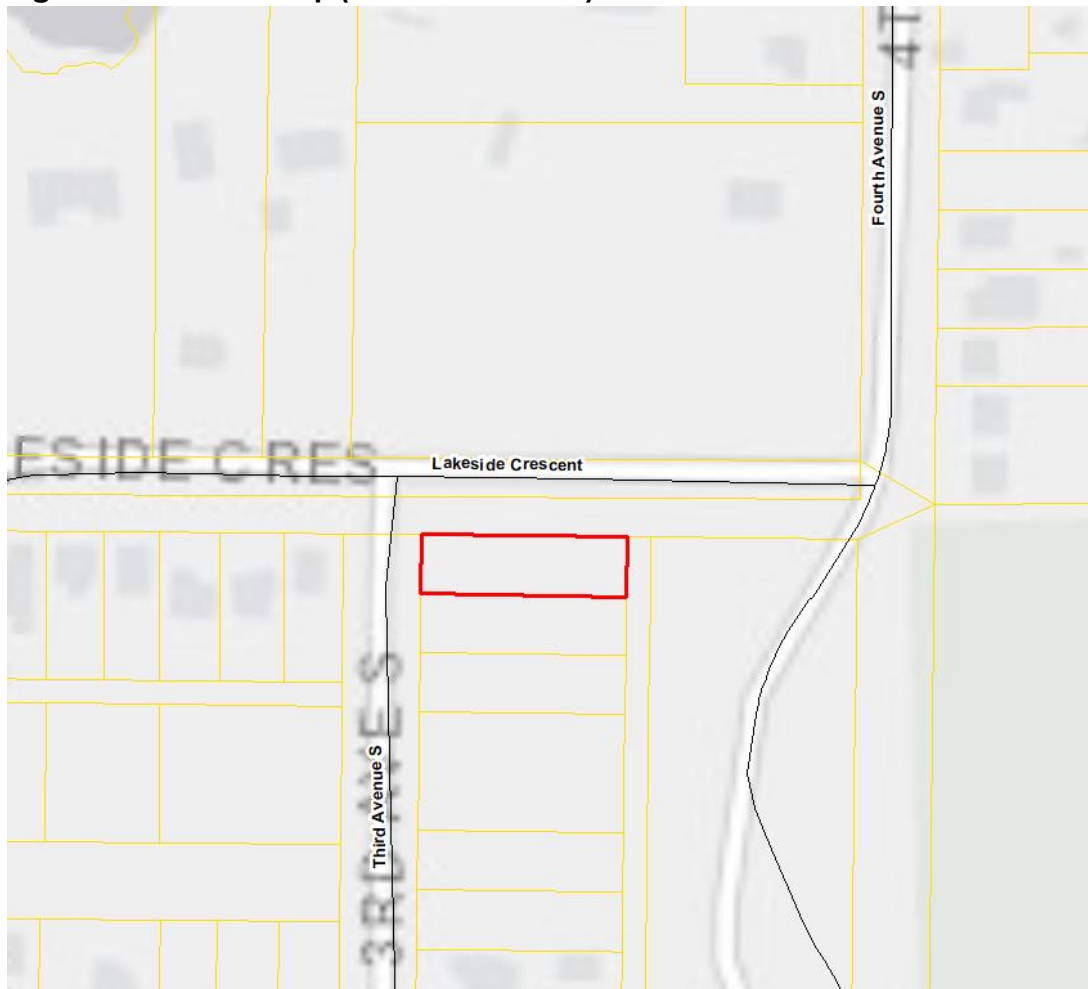
This proposed development is for a two-storey single family dwelling on a currently vacant lot.

The subject property is vacant and has access via Third Avenue South. The site is serviced by municipal water and sewage services. The subject lands are approximately 0.2 acres.

REVIEW

In considering an application of minor variance, Section 45(1) of the Planning Act gives authority of granting minor relief from the provision of the Zoning By-law to the Committee of Adjustment. Such relief can only be granted if the application is minor in nature, is an appropriate use of the land, and that the development maintains the intent of the Official Plan and Zoning By-law.

Figure 1. Location Map (Kenora GIS 2022)



AGENCY/PUBLIC COMMENTS

City Staff

City staff had no concerns with the application.

Agency

Synergy North had no concerns with the application. No comments were received from other agencies.

Public

No comments were received from members of the public.

PLANNING REVIEW

The subject property is designated “Established Area” in the City of Kenora Official Plan and zoned “R1” Residential – First Density Zone in the City’s Zoning By-law.

Provincial Policy Statement

The Provincial Planning Statement, 2024 (PPS) is supportive of new housing and the construction of more homes. Section 2.2 of the PPS, Housing, states that planning authorities shall provide for an appropriate range and mix of housing options and densities to meet the projected needs of current and future residents of the regional market area by permitting and facilitating all housing options required to meet the social, health, economic and well-being requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities. As this application is proposed to enable a new dwelling to be constructed, this application complies with this section of the PPS. Thus, this application is supported by these policies of the PPS.

FOUR TESTS OF A MINOR VARIANCE

Does the variance maintain the intent of the Official Plan?

The City of Kenora Official Plan (OP) Section 2.2.1 contains objectives for Sustainable Development, a principle of the OP. The OP states to support infill and intensification where services exist. The OP also contains policies for the Established Area designation. Section 4.1.2 states that residential development shall be encouraged through plans of subdivision, condominium and consent as infilling or redevelopment of existing uses on full municipal services. As this application is proposed to develop an existing vacant residential lot, it maintains the intent of the OP.

Does the variance maintain the intent and purpose of the Zoning By-law?

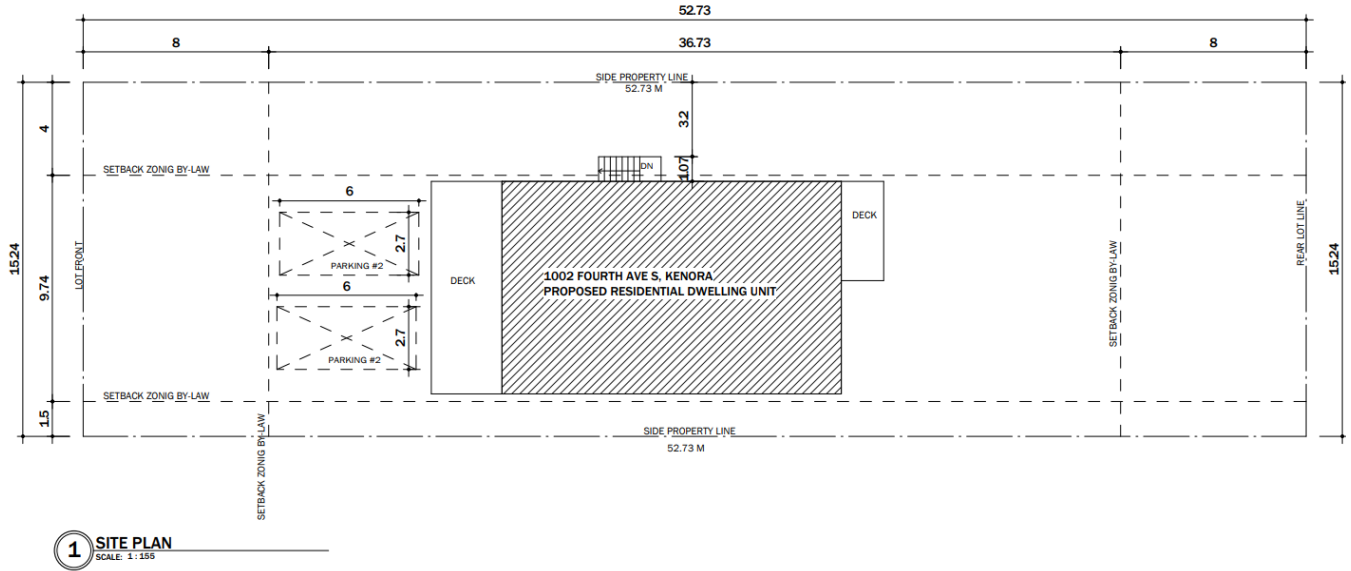
The City of Kenora Zoning By-law No. 101-2015 contains specific provisions for the “R1” Residential – First Density Zone. The R1 zone allows for the development of single-detached housing and other compatible uses serviced by municipal water and sewer or with municipal water only.

This application is seeking to permit a two-storey dwelling with a 1.5 metre interior side yard setback. This is a relief request of 1 metre from the permitted 2.5 metres. The applicants have indicated that the water table is high on the subject property, leading them to be unable to further below grade. The reduction of 1 metre from the side yard setback to 1.5 metres does maintain the intent of the Zoning By-law. As the proposed development is for a single-detached dwelling and maintains a 1.5 metre side yard, this application maintains the intent of the Zoning By-law.

Is the application desirable for the appropriate development of the land, building or structure?

The proposed variance will enable the construction of a two-storey single detached dwelling on a currently vacant property, which is a permitted use and desirable for the development of the vacant land.

Figure 2. Site plan (provided by applicant)



Is the variance minor?

The requested relief is to permit a two-storey dwelling with a 1.5 metre interior side yard. The proposed variance is not expected to have a significant impact on the surrounding area, nor will it impact the ability of adjacent neighbours to utilize their properties for permitted uses. The variance is considered minor in nature and impact.

Recommendation

As a result, it is recommended that minor variance application D13-25-01 to seek relief from the City of Kenora By-law 101-2015, Section 4.1.3 (d) be approved to permit an interior side yard setback of 1.5 metres, subject to the following conditions:

1. The variance shall only apply to the proposed single-detached dwelling.
2. The proposed dwelling be constructed in general conformity with the sketch and elevation drawings submitted with the application.

Tara Vader
Associate Planner

January 10, 2025